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September 7, 2021

The Honorable Nury Martinez
President
Los Angeles City Council

c/o Holly L. Wolcott
City Clerk
City Hall Room 360

**CRISIS AND BRIDGE HOUSING FACILITIES - CD 9 KING SOLOMON VILLAGE AT
SLAUSON HOMELESS SHELTER AT 1300 - 1332 W. SLAUSON AVENUE AND HOME
KEY - VOALA LONG BEACH AVENUE HOMELESS SHELTER AT 2521 - 2525 LONG
BEACH AVENUE (C.F. 21-0974) CALIFORNIA ENVIRONMENTAL QUALITY ACT
(CEQA) NOTICES OF EXEMPTION (NOEs)**

Dear President Martinez and Honorable Members:

The attached environmental documentation is being transmitted for City Council's consideration related to funding, tenant improvements, and operation of two bridge housing facilities, to provide crisis shelter services at 1300 - 1332 W. Slauson Avenue and 2521 - 2525 Long Beach Avenue in Council District 9.

RECOMMENDATION

Staff recommends that Council determine the Crisis and Bridge Housing projects at 1300 - 1332 W. Slauson Avenue and 2521 - 2525 Long Beach Avenue, which allow for the tenant improvements and operation of these properties as temporary shelters for those experiencing homelessness, are statutorily exempt under Public Resources Code Section 21080(b)(4) as a specific action necessary to prevent or mitigate an emergency as also reflected in CEQA Guideline Section 15269(c); Public Resources Code section 21080.27 (AB 1197) applicable to City of Los Angeles emergency homeless shelters; and, because the projects use "Homeless Housing, Assistance and Prevention Program funds," they are exempt under Governor's Order No. N-32-20. Please refer to the attached NOEs.

Honorable Nury Martinez
September 7, 2021
Page 2 of 2

If you have any questions, please contact Maria Martin at Maria.Martin@lacity.org or (213) 485-5753.

Sincerely,

for
Gary Lee Moore, PE, ENV SP
City Engineer

Attachments

GLM/JF/mem
Q:\GLM\City Engineer\GLM Signed Documents\2021Documents\
TRANSMITTAL_CF21-0974_09-07-21

cc: Deborah Weintraub, Bureau of Engineering
Jose Fuentes, Bureau of Engineering
Marina Quinones, Bureau of Engineering
Maria Martin, Bureau of Engineering

ATTACHMENTS

1. Notice of Exemption (NOE) CD 9 King Solomon Village at Slauson Homeless Shelter
2. Notice of Exemption (NOE) Home Key - VOALA Long Beach Ave Homeless Shelter

ATTACHMENT 1

Notice of Exemption (NOE)

CD 9 King Solomon Village at Slauson Homeless Shelter

**CITY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUREAU OF ENGINEERING
1149 S. BROADWAY, 7th FLOOR
LOS ANGELES, CALIFORNIA 90015
CALIFORNIA ENVIRONMENTAL QUALITY ACT
NOTICE OF EXEMPTION**

(Articles II and III – City CEQA Guidelines)

Submission of this form is optional. The form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, California, 90650, pursuant to Public Resources Code Section 21152(b). Pursuant to Public Resources Code Section 21167(d), the filing of this notice starts a 35-day statute of limitations on court challenges to the approval of the project.

LEAD CITY AGENCY AND ADDRESS: City of Los Angeles c/o Bureau of Engineering (BOE) 1149 S. Broadway, MS 939 Los Angeles, CA 90015	COUNCIL DISTRICT 9
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PROJECT TITLE: CD 9 King Solomon Village at Slauson Homeless Shelter (Project)	LOG REFERENCE C.F. 21-0974
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PROJECT LOCATION: 1300 – 1332 West Slauson Avenue in the South Los Angeles Community Plan Area of the City of Los Angeles (City), Los Angeles County. See Figure 1, Project Location. T.G. 673 J5

DESCRIPTION OF NATURE, PURPOSE, AND BENEFICIARIES OF PROJECT: The Project consists of tenant improvements to an existing warehouse facility for use as a homeless shelter with approximately 100 Americans with Disabilities Act (ADA) compliant sleep areas, dome units with beds for people, including three families, experiencing homelessness. Site improvements include interior painting, plumbing and electrical upgrades, fire sprinkler installation, floor refinishing, window glazing, and demolition and installation of new doors and partitions. The site will provide emergency shelter, ADA compliant shower and restroom, two hygiene trailers, covered trash receptacles, storage lockers, laundry area, dining area, food services, and case management. A third-party service provider will operate the Project for the City. The purpose of the Project is to provide emergency shelter for people experiencing homelessness to help bridge their transition from living on the streets to finding services and, ultimately, living in transitional and/or permanent housing. Project beneficiaries include the homeless community, the public, and local businesses. (Please see the attached narrative for more details.) On _____, 2021, the City Council determined the Project was exempt under the California Environmental Quality Act (CEQA) and approved the Project.

CONTACT PERSON Maria Martin (Maria.Martin@lacity.org)	TELEPHONE NUMBER (213) 485-5753
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EXEMPT STATUS:	<u>CITY CEQA GUIDELINES</u>	<u>STATE CEQA GUIDELINES</u>	<u>CA PUBLIC RESOURCE CODE</u>
<input checked="" type="checkbox"/> STATUTORY		15269(c)	21080(b)(4) & 21080.27
<input checked="" type="checkbox"/> Governor’s Executive Order No. N-32-20 (March 18, 2020) suspending CEQA “for any project using Homeless Emergency Aid Program funds, Homeless Housing, Assistance, and Prevention Program funds, or funds appropriated in Senate Bill 89”.			

JUSTIFICATION FOR PROJECT EXEMPTION: This Project is statutorily exempt under Public Resources Code, Section 21080(b)(4), as a specific action necessary to prevent or mitigate an emergency, and as reflected in CEQA Guideline, Section 15269(c); Public Resources Code, Section 21080.27 (AB 1197) applicable to City of Los Angeles emergency homeless shelters; and, because the project uses Homeless Housing, Assistance and Prevention (HHAP) program funds, it is exempt under the Governor’s Executive Order No. N-32-20 (see attached narrative).

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING

SIGNATURE: Maria Martin	TITLE: Environmental Affairs Officer BOE Environmental Management Group	DATE:
RECEIPT NO.	REC'D BY	DATE

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EXEMPTION NARRATIVE

I. PROJECT DESCRIPTION, CONTINUED

The Project includes approximately 100 beds located in dome units for people experiencing homelessness, in furtherance of providing emergency homeless shelter beds in the City. The site includes seven parking stalls, including two ADA compliant stalls. The Project operation will include approximately twenty employees working three shifts throughout the day with site security provided on a 24/7 basis or per a security plan consistent with the Los Angeles Homeless Services Authority's (LAHSA) standards. The homeless shelter will be operated consistent with LAHSA's program requirements for crisis and bridge shelters including, but not limited to, LAHSA's Scope of Required Services and Program Standards, as noted in the references section. A third-party service provider will operate the Project for the City, and it is anticipated that a lease or similar operating and/or funding agreements may be executed with the service provider, County, and/or LAHSA.

The Project site is located on Slauson Avenue, between Normandie Avenue and Raymond Avenue, in a hybrid industrial land use corridor that allows for residential and industrial uses, in the South Los Angeles Community Plan Area of the City. The Project site is approximately 57,800 square feet, with approximately 22,750 square feet of floor area. The Project site is a qualified urban use, a mixed use zone with hybrid industrial (live/work zone) uses, developed with a warehouse building and two ancillary buildings that previously housed industrial uses. The warehouse will be rehabilitated for use as an emergency homeless shelter. The two ancillary buildings are not proposed to be used as part of the Project. The Project site is zoned CM-1-CPIO with Hybrid Industrial land use designation. The parcels that surround the site are also qualified urban uses: Hybrid industrial land uses are located to the east and west, low medium residential uses are located to the south, and a Metro rail corridor is located to the north, across Slauson Avenue (City of Los Angeles Department of City Planning, 2016 and 2021).

II. PROJECT HISTORY

A. Homelessness Imposes a Loss of, or Damage to, Life, Health, Property, and to Essential Public Services in the City

Homelessness presents a danger of loss or damage to the health and property of the people of the City and an undue burden on essential public services. Homeless persons constitute approximately 0.78 percent of the City's population (Los Angeles Homeless Services Authority, 2018).

In 2018, homeless persons constituted 13.5 percent of LAFD's total patient transports to a hospital, meaning a homeless person is 17 percent more likely to require emergency hospital transportation than the general population (LAFD Battalion Chief and Paramedic Douglas Zabilski, 2019). Studies have shown that individuals identified as homeless utilize health care services more frequently than comparable non-homeless individuals of the same age, gender, and low-income status, particularly high-cost services such as ER visits and psychiatric hospitalizations (Hunter, 2017) (Hwang SW, 2013).

Los Angeles County's Chief Executive Officer reported the County spent \$965 million on health, law enforcement, and social services toward individuals experiencing homelessness in fiscal year 2014–2015 (Wu, 2016). Consistent with that report, a 1998 study in the *New England Journal of Medicine* found that homelessness was associated with substantial excess costs per hospital stay in New York City, with homeless patient staying in the hospital 36 percent longer per admission on average than other patients (Salit, *Hospitalization Costs Associated with Homelessness in New York City*, 1988).

Homelessness also causes significant danger to the health and lives of persons who are homeless. Homeless individuals living in the City are frequent crime victims. In 2018, LAPD reported 2,965 instances where a homeless individual was a victim of a serious crime, including homicide, rape, aggravated assault, theft, and arson (also known as "Part 1 Crimes.") (Commander Dominic H. Choi, 2019). This compares to 1,762 such crimes in 2017, a 68 percent increase (*Id.*). This dramatic increase in Part 1 Crime statistics may be due to more rigorous LAPD data collection methodologies, however it is consistent with the increasing incidence of homelessness documented in June of 2019 detailed below (*Id.*).

Overall, in 2018, the LAPD reported 6,671 instances in total where a homeless individual was a Part 1 Crime victim and/or suspect, among the 31,285 estimated homeless individuals throughout the City (*Id.*). This means that in 2018 there was approximately one Part 1 Crime per every 4.68 homeless individuals in the City. By comparison, for the same year LAPD reported 129,549 total Part 1 Crimes Citywide among an estimated population of 4,054,400 City residents, or approximately one Part 1 crime per every 31.29 City residents. Accordingly, the rate of Part 1 crimes among homeless individuals in 2018 was approximately seven times higher than the rate among the City population as a whole (*Id.*).

On October 4, 2018 and again on February 6, 2019, the Los Angeles County Department of Public Health identified an outbreak of endemic flea-borne typhus in downtown Los Angeles among persons experiencing homelessness. On September 19, 2017, the Los Angeles County Department of Public Health declared a Hepatitis A virus outbreak among persons who are homeless and/or use illicit drugs in the County. Likewise, a January 2018 report from the Los Angeles County Department of Mental Health reported that data from the Los Angeles County Medical Examiner-Corner's showed that a significant number of deaths in the homeless population were caused by treatable conditions such as arteriosclerotic cardiovascular disease, pneumonia, diabetes, cancer, cirrhosis, severe bacterial infections and other conditions (Choi, 2019). As noted more recently by the Board of Supervisors for the County of Los Angeles on October 29, 2019:

Mortality rates for people experiencing homelessness are much higher than those for the general population, have risen in the County over the past five years, and are expected to increase again for 2019. A recent analysis by the County's Department of Public Health on mortality rates and causes of death among people experiencing homelessness shed critical light on this issue and provided sobering data on recent trends. The overall mortality rate, which accounts for increases in the total homeless population over the 6-year period from 2013 to 2018, increased each year from 1,382 per 100,000 to 1,875 deaths per 100,000, with the total number of deaths

among people experiencing homelessness increasing each year from 536 in 2013 to 1,047 in 2018. The leading causes of death included coronary heart disease (22%) and unintentional drug and alcohol overdose (21%), indicating that there are opportunities for interventions to prevent premature deaths (Supervisor Ridley-Thomas, Supervisor Solis, 2019) (Department of Public Health, 2019).

These significant adverse health impacts suffered by the homeless in the City and County of Los Angeles are consistent with the impacts identified by a well-established body of expert social science studies that document the significant adverse health and welfare impacts experienced by homeless persons in the United States and in other countries, which the homeless in the City and County experience as well. Some of that research has documented the following impacts upon homeless persons:

Mortality Rates. A study of the mortality rates of sheltered homeless people in New York City between 1987 and 1994 documented that homeless men died at a rate more than twice that of other residents of New York, and that homeless women died at a rate more than 3.7 times greater than other New York residents (Barrow, Susan M., PhD, Daniel B. Herman, DSW, Pilar Cordova, BA, and Elmer L. Struening, PhD, 1999). A study conducted between 1985 and 1988 in Philadelphia found that the mortality rate among homeless persons in Philadelphia was nearly four times greater than for the general population (Hibbs, Jonathan R., MD, et. al., 1994). A review of five years of data between 2000 and 2005 in Glasgow, Scotland found that homelessness is, itself, is an independent risk factor for death, distinct from other specific causes (Morrison, 2009).

Access to Healthcare. A 2003 nationwide survey of homeless persons documented that homeless adults reported substantial unmet needs for multiple types of health care (Baggett, Travis P., MD, MPH, James J. O'Connell, MD, Daniel E. Singer, MD, and Nancy A. Rigotti, MD, 2010). The report found 73 percent of the respondents reported at least one unmet health need, including an inability to obtain needed medical or surgical care (32%), prescription medications (36%), mental health care (21%), eyeglasses (41%), and dental care (41%) (*Id.*).

AIDs Impacts. A study of San Francisco residents diagnosed with AIDS from 1996 through 2006 and reported to the San Francisco Department of Public Health demonstrated that homeless persons with HIV/AIDS have greater morbidity and mortality, more hospitalizations, less use of antiretroviral therapy, and worse medication adherence than HIV infected persons who are stably housed (Schwarcz, Sandra K, Ling C Hsu, Eric Vittinghoff, Annie Vu, Joshua D Bamberger and Mitchell H Katz, 2009).

Cancer Impacts. A study of 28,000 current and formerly homeless individuals in Boston documented that homeless men saw a significantly higher cancer incident rate than expected compared to the general Massachusetts general population, and that homeless women and men experienced significantly higher cancer mortality rates than the Massachusetts general population (Baggett, Travis P et al., 2015).

B. Unexpected and Unabated Dramatic Surge in Homelessness

A 2017 Rand Corporation study reported the County of Los Angeles as having the highest rate in the United States of unsheltered individuals who experience homelessness (Hunter, Sarah B., Melody Harvey, Brian Briscoombe, and Matthew Cefalu, 2017). The impacts of homelessness upon the homeless and upon the community, in terms of the danger to or loss of life, property, health and burden on public services is exacerbated in the City due the very size of the City's homeless population. The homeless shelter crisis and the rise in homelessness are the type of emergency situations that led the State to adopt AB 1197, an urgency statute addressing homelessness that was deemed necessary for the immediate preservation of the public peace, health, or safety and for the critical necessity to address the shelter and homeless crisis within the City of Los Angeles.

The City Council declared a homeless shelter crisis pursuant to Government Code Section 8698, et seq. on April 17, 2018 (The Honorable M. Bonin & M. O'Farrell, 2019), which is currently in effect (The Honorable M. Bonin & M. Harris-Dawson, 2019). Following significant investment of resources by both the County and City, the 2018 Homeless Count showed progress in reducing homelessness, documenting a 5.5 percent overall decrease in the number of persons experiencing homelessness in LA County (LAHSA, 2020).

Table 1 - 2018 Homeless Count Data Summary presents the data revealed by the 2018 Homeless Count concerning the City of Los Angeles, as documented in the 2018 Data Summary in Table 1 (LAHSA, 2020).

Table 1		
2018 Homeless Count Data Summary		
	Number of Individuals	Change from 2017
Sheltered Homeless	8,398	6% Decrease
Unsheltered Homeless	22,887	5.3% Decrease
Total Homeless Persons	31,285	5.5% Decrease

Despite these efforts and the initial progress shown in 2018, the revised 2019 Homeless Count, released in July 22, 2020, unexpectedly documented a dramatic increase in the number of individuals experiencing both sheltered and unsheltered homelessness in (LAHSA, 2020) *Table 2 - 2019 Homeless Count Data Summary* presents the data revealed by the 2019 Homeless Count concerning the City of Los Angeles, as documented in the 2019 Data Summary as shown in Table 2 (LAHSA, 2020).

Table 2		
2019 Homeless Count Data Summary (Revised 07/20/2020)		
	Number of Individuals	Change from 2018
Sheltered Homeless	8,944	6.5% Increase
Unsheltered Homeless	26,606	16.2% Increase
Total Homeless Persons	35,550	13.7% Increase

LAHSA published its 2020 Homeless Count, released in July 20, 2020, which shows that the homelessness emergency in the City of Los Angeles continues unabated. The documented number of individuals experiencing both sheltered and unsheltered homelessness dramatically increased yet again, as shown in *Table 3 - 2020 Homeless Count Data Summary* (LAHSA, 2020).

Table 3		
2020 Homeless Count Data Summary		
	Number of Individuals	Change from 2019
Sheltered Homeless	12,438	39% Increase
Unsheltered Homeless	28,852	8.4% Increase
Total Homeless Persons	41,290	16.1 % increase

C. Emergency Related to COVID-19 Pandemic Impacting Homeless Community

In addition to the crisis of growing homelessness, the COVID-19 pandemic is impacting homeless persons. On March 4, 2020, the Governor proclaimed a State of Emergency for the State of California (Governor Gavin Newsom, 2020), and the Mayor of the City of Los Angeles declared a local emergency related to the threat of the COVID-19 pandemic affecting the local population (Mayor Eric Garcetti, 2020). The City is facing an unprecedented emergency at the current time due to the sudden occurrence of the COVID-19 pandemic, and this emergency is particularly concerning for the imminent threat it poses to the City’s homeless population.

On March 11, 2020, the State Department of Health issued guidance for protecting homeless Californians from COVID-19, which noted the following:

“We know that individuals experiencing homelessness are at greater risk of having an untreated and often serious health condition. This vulnerable

population also has a higher risk of developing severe illness due to COVID-19,” said Dr. Mark Ghaly, Secretary of the California Health and Human Services Agency. “It is important that we act now to protect this population and the compassionate people who serve them.” (Corey Egel, 2020)

The homeless often live unsheltered, unprotected from the elements and in close contact and proximity to other individuals in the homeless community. As noted above, the homeless population is substantially more prone to underlying health conditions. The State Department of Public Health additionally states that populations “with compromised immune systems, and people with certain underlying health conditions like heart disease, lung disease and diabetes, for example, seem to be at greater risk of serious illness.” (California Dept. of Public Health, 2020). Thus, exposure to COVID-19 in the homeless population is an imminent concern for the damage it will cause on these susceptible individuals.

On March 12, 2020, the Governor’s Executive Order No. N-25-20 noted the “need to secure numerous facilities to accommodate quarantine, isolation, or medical treatment of individuals testing positive for or exposed to COVID-19.” (Governor Gavin Newsom, 2020). On March 18, 2020, the Governor issued Executive Order No. N-32-20 (Governor Gavin Newsom, 2020), which further noted imminent impacts to the homeless, as follows:

[T]he emergency of COVID-19 necessitates a more focused approach, including emergency protective measures to bring unsheltered Californians safely indoors, expand shelter capacity, maintain health and sanitation standards and institute medically indicated interventions, and add new isolation and quarantine capacity to California’s shelter and housing inventory to slow the spread of the pandemic....

The Governor has stated that “[p]eople experiencing homelessness are among the most vulnerable to the spread of COVID-19,” and “California is deploying massive resources to get these vulnerable residents safely into shelter, removing regulatory barriers and securing trailers and hotels to provide immediate housing options for those most at risk. Helping these residents is critical to protecting public health, flattening the curve and slowing the spread of COVID-19.” (California Governor, Press Release (Governor Gavin Newsom, 2020).

On March 19, 2020, the Governor issued a stay-at-home order directing residents to stay home or at their place of residence (Governor Gavin Newsom, 2020). It noted “in a short period of time, COVID-19 has rapidly spread throughout California, necessitating updated and more stringent guidance from federal, state, and local public health officials.” (Governor Gavin Newsom, 2020). Similar local Safer-at-Home orders followed (County of Los Angeles Public Health Department, 2020) (Mayor Eric Garcetti, 2020). The City’s Safer at Home order particularly noted the following:

City of Los Angeles officials and contracted partners responsible for homelessness outreach shall make every reasonable effort to persuade such residents to accept, if offered, temporary housing or shelter, as the Health Officer of the County of Los Angeles recommends that sheltering individuals will assist in reducing the spread of the virus and will protect the

individual from potential exposure by allowing the individual access to sanitation tools (Mayor Eric Garcetti, 2020).

In the United States District Court Central District of California case of *LA Alliance for Human Rights Et Al. vs. the City of Los Angeles, Et al.* Case No. CV 20-02291 DOC (The Honorable Judge David O. Carter, 2020), concerning homelessness, the Court entered a May 2020 injunction that had ordered the City of Los Angeles in partnership with the County of Los Angeles, to protect a particular subset of persons experiencing homelessness, finding they are exposed to severely heightened public health risks as a result of where they live (The Honorable Judge David O. Carter, 2020). Although the Court vacated that order on June 18, 2020, in favor of a homeless shelter agreement between the City and County, the Court retained its right to re-impose the May 2020 injunction. The Court's May 2020 findings concerning the emergency situation faced by homeless persons, therefore, is relevant to understanding the emergency situation.

The Injunction found that the combined risks of health impacts from living near freeways and the on-going Covid-19 pandemic constitute an emergency. The Court found that it is unreasonably dangerous for humans to live in areas which have deleterious health impacts and can shorten a homeless person's life expectancy by decades. These locations near freeways, for example, could be contaminated with lead or other carcinogenic substances and also increase the danger that a homeless person will be struck by a vehicle or injured in the event of an earthquake or crash. Camps in these locations can also burden the general public—for example, by posing potential hazards to passing motorists, or by making sidewalks and other rights-of-way inaccessible to individuals with disabilities.

The Court further found that providing housing for persons experiencing homelessness will help stop the spread of COVID-19 persons experiencing homelessness and will also help reduce the likelihood that the disease will spread throughout the greater Los Angeles community.

Taken together, the unexpected and dramatic increase in homelessness in the City and County of Los Angeles identified first in 2019 continues unabated in 2020, which is now exacerbated by the COVID-19 pandemic posing a critical emergency situation in the City of Los Angeles. This situation presents documented dangers to health, life, property and a burden on public resources which presents an emergency as defined by CEQA as explained below. Furthermore, the State has created additional CEQA exemptions applicable in the City of Los Angeles concerning homelessness and homeless shelters.

III. THE PROJECT IS EXEMPT FROM FURTHER CEQA REVIEW

A. The Project is Exempt Pursuant to the Emergency CEQA Statutory Exemption (PRC Section 21080(b)(4))

Public Resources Code sSection 21080(b)(4) provides that CEQA does not apply, to “specific actions necessary to prevent or mitigate an emergency.” Public Resources Code section 21060.3 defines Emergency as, “a sudden, unexpected occurrence, involving a clear and imminent danger, demanding immediate action to prevent or mitigate loss of, or damage to, life, health, property, or essential public services.” Section 21060.3 further

provides that Emergency, “includes such occurrences as fire, flood, earthquake, or other soil or geologic movements, as well as such occurrences as riot, accident, or sabotage.”

Finally, 14 California Code of Regulations (Governor's Office of Planning and Research, 2018) Section 15269, “Emergency Projects,” provides examples of emergency projects exempt from the requirements of CEQA, including the following:

(c) Specific actions necessary to prevent or mitigate an emergency. This does not include long-term projects undertaken for the purpose of preventing or mitigating a situation that has a low probability of occurrence in the short-term, but this exclusion does not apply

(i) if the anticipated period of time to conduct an environmental review of such a long-term project would create a risk to public health, safety or welfare, or

(ii) if activities (such as fire or catastrophic risk mitigation or modifications to improve facility integrity) are proposed for existing facilities in response to an emergency at a similar existing facility.

The Project is a specific action necessary to prevent or mitigate an emergency – the conditions arising from a sudden and unexpected dramatic rise in the City’s already dangerously large homeless population, now adversely impacted by the COVID-19 pandemic for all of the reasons set forth above in Part II (Project History). The Project, therefore is exempt from CEQA environmental review pursuant to Section 21080(b)(4).

B. The Project is Exempt under the Governor’s Executive Order No. N-32-20, Suspending CEQA

On March 18, 2020, Governor Newsom signed and issued Executive Order No. N-32-20 (Governor Gavin Newsom, 2020) suspending CEQA and the CEQA Guidelines’ requirements “for any project using Homeless Emergency Aid Program funds, Homeless Housing, Assistance, and Prevention Program funds, or funds appropriated in Senate Bill 89, signed on March 17, 2020.” The Governor noted that “strict compliance with the various statutes and regulations specified in this order would prevent, hinder, or delay appropriate actions to prevent and mitigate the effects of the COVID-19 pandemic.” Because this project qualifies for and will use Homeless Emergency Aid Program funds for at least a portion of the work at the site,” it is exempt from CEQA under the Governor’s suspension order.

C. The Project is Exempt Pursuant to AB 1197 Codified at PRC Section 21080.27

Assembly Bill 1197 (Santiago, 2019) was signed into law on September 26, 2019, which adopted Section 21080.27 of the California Public Resources Code (PRC) and created a statutory exemption for compliance with CEQA for emergency shelter projects located within the City of Los Angeles. The intent of AB 1197 is to help the City of Los Angeles address its homeless crisis and is an urgency statute that is deemed necessary for the immediate preservation of the public peace, health, or safety and for the critical necessity

to address the shelter and homeless crisis. AB 1197 took immediate effect on September 26, 2019 in order to address the unique circumstances faced by the City of Los Angeles and to expedite the development of emergency homeless shelters. As noted in the following sections, this shelter project complies with the requirements in AB 1197, and thus the Project is exempt from CEQA pursuant to AB 1197 (PRC § 21080.27).

1. City of Los Angeles Declaration of a Shelter Crisis

Public Resources Code, section 21080.27(a)(2) requires that emergency shelters be approved during a shelter crisis under Government Code, section 8698.2. The City of Los Angeles City Council declared a homeless shelter crisis pursuant to Government Code Section 8698, et seq. on April 17, 2018 (The Honorable M. Bonin & M. O'Farrell, 2019), which is currently in effect (The Honorable M. Bonin & M. Harris-Dawson, 2019).

2. The Project Meets the Definition of a Low Barrier Navigational Center in Government Code Section 65660

Under AB1197, emergency shelters must meet the definition of “Low Barrier Navigational Center” in Government Code Section 65660, which defines Low Barrier Navigation Center as a “Housing First, low-barrier, service-enriched shelter focused on moving people into permanent housing that provides temporary living facilities, while case managers connect individuals experiencing homelessness to income, public benefits, health services, shelter and housing. The City builds and operates emergency shelters, such as this Project, to be operated as low barrier navigation centers consistent with Government Code Section 65660.

Service-Enriched Shelter with Case Managers Connecting to Services. The requirements are met by this Project for a “service-enriched shelter focused on moving people into permanent housing that provides temporary living facilities, while case managers connect families experiencing homelessness to income, public benefits, health services, shelter and housing.” This Project provides temporary housing, with case managers staffing the facility that provide connections to homeless family services and assistance for the occupants. This is one of the fundamental purposes of this shelter Project. For example, the Project’s programs include Trauma Informed Care policies and procedures that involve understanding, recognizing, and responding to the effects of all types of trauma. Trauma Informed Care also emphasizes physical, psychological and emotional safety for both families and providers, and helps families rebuild a sense of control and empowerment. Trauma Informed services take into account an understanding of trauma in all aspects of service delivery and place priority on the trauma survivor’s safety, choice, and control. Trauma Informed Care services create a culture of nonviolence, learning, and collaboration.

The Project will be operated by service providers coordinated with the Los Angeles Homeless Services Authority (LAHSA). The intention of this emergency shelter is to provide persons experiencing homelessness with some stability, so that they can more easily maintain contact with housing navigation and/or case management services to facilitate safe and supportive housing placement.

Per LAHSA's Crisis and Bridge Housing Scope of Required Services, which will be followed for operating the shelter in this Project, service providers that oversee an emergency shelter must provide case management services and develop a Housing Stability Plan with each person. The shelter will program implement a case management and service plan known as Housing-Focused Case Management and Support Services (HFCMSS). HFCMSS includes but is not limited to: support with completing housing applications, accompanying the individual to housing appointments and/or leasing appointments, and other support associated with the housing placement process. The primary objective of HFCMSS is to extend support to individuals through an individualized case management relationship that will ultimately translate to increased housing stability. The HFCMSS offers services to connect individuals to permanent housing. Case Managers present at the shelter make rapid connections to a broad continuum of resources and permanent housing, emphasizing a short-term stay.

HFCMSS connects families to a Housing Navigator who assists individuals to gain access to permanent housing through referrals to housing programs (such as RRH, Permanent Supportive Housing, affordable housing, etc.). A case manager is assigned to an individual when the person enters the program and then helps the participant establish a connection to a Housing Navigator. A Housing Navigator assists individuals with Housing Navigation services. Housing Navigation services are available to individuals to support their housing placement goals and must be focused on assisting the participant in identifying and accessing permanent housing within the general ninety (90) days. Housing Navigation services may be provided onsite or offsite, and may also require participants' to be accompanied to off-site appointments.

Case management must be conducted on a regular and routine basis and must be routinely documented. The content and outcome of case management meetings with individuals are entered into a housing management information system with case notes that are tracked in the system. Housing-focused case management sessions are dedicated to assessing and reassessing needs, educating individuals on community resource opportunities, developing Housing Stability Plans, scheduling appointments, and providing necessary follow up to ensure housing stability plans are progressing on schedule and needs are adequately being addressed.

As noted in LAHSA's Program Standards, supportive services for the shelters focus on the income, resources, skills and tools needed to pay rent, comply with a lease, take reasonable care of a housing unit, and avoid serious conflict with other tenants, the landlord, and/or the police. The Program Standards also require service providers to utilize and maintain referral networks with specific lists of health services and public benefit services for connecting occupants to those benefits. Thus, the project is a service-enriched shelter focused on moving individuals into permanent housing that provides temporary living facilities, while case managers connect individuals experiencing homelessness to income, public benefits, health services, shelter and housing.

Housing First. The Project is a "Housing First" shelter pursuant to Government Code Section 65660. Also, in being such a Housing First shelter, the project complies with

Chapter 6.5 of Division 8 of the Welfare and Institutions Code (commonly referred to as the Housing First Law) as required by Government Code Section 65662 (discussed further below). "Housing First" means the evidence-based model that uses housing as a tool, rather than a reward, for recovery from homelessness, and that centers on providing or connecting people experiencing homelessness to permanent housing as quickly as possible. Housing First providers offer services as needed and requested on a voluntary basis and that do not make housing contingent on participation in services.

Housing First also includes time-limited rental or services assistance, so long as the housing and service provider assists the recipient in accessing permanent housing and in securing longer-term rental assistance, income assistance, or employment. In the event of an eviction, programs shall make every effort, which shall be documented, to link tenants to other stable, safe, decent housing options. Exit to homelessness should be extremely rare, and only after a tenant refuses assistance with housing search, location, and move-in assistance. If resources are needed to successfully divert an individual from entry into the homelessness system, a referral must immediately be made to a CES Diversion/Prevention program. In order to identify other permanent housing options, service providers continue to have such problem solving conversations with the individual while residing in Crisis and Bridge Housing. More broadly, the project includes a housing and services plan and housing-focused case management, both with an orientation towards supporting individuals to exit to safe and stable housing. This Project meets the above-noted Housing First requirements.

The emergency shelters are operated by service providers coordinated through LAHSA. All service providers must comply with LAHSA's Scope of Required Services, Program Standards, and Facility Standards. Per LAHSA's Program Standards, all eligible participants are to be served with a Housing First approach. LAHSA's CES for Families' Principles and Practices that were approved by the CES Policy Council on August 23, 2017 shall be used to guide the development of systems-level policy and to ensure transparent and accountable decision-making with privately owned Service Providers who enter into a partnership with LAHSA. The basic underlying principle of LAHSA's System Components is that access to housing is the primary need for its program participants. Services are voluntary and not required to enter into a shelter. Individuals will not be rejected or exited from participation in the emergency shelter due to any unnecessary barriers.

The City's shelters are intended to be a Housing First program focused on quickly moving individuals experiencing homelessness into permanent housing and then providing the additional supports and services each person needs and wants to stabilize in that housing. The basic underlying Housing First principle is that individuals are better able to move forward with their lives once the crisis of homelessness is over and they have control of their housing. The City's emergency shelter will, provide a safe, low barrier, housing-focused, and homeless services support in a twenty-four (24) hour residence to help individuals who experience homelessness that meet the above-noted requirements for Housing First. One of the core components of the Housing First model is that longer-term housing accepts referrals directly from shelters. The City's shelters, including this Project, are primarily focused on connecting, transitioning, and referring homeless

individuals into such permanent housing as quickly as possible in the Housing First model, and accepting occupants through the crisis response system. The intention of this emergency shelter project is to provide participants with some stability, so that they can more easily maintain contact with housing navigation and case management services and facilitate safe and supportive housing placement. Services in the City's shelters, including this Project, are never mandatory and cannot be a condition of obtaining the housing intervention. This Project will provide temporary housing, case managers and Housing Navigators staffed at the facility or offsite who provide connections to homeless services for the occupants. Based on the above-noted information, the project's emergency shelter meets the Housing First requirements relative to AB 1197.

Low Barrier. "Low Barrier" means the shelters use best practices to reduce barriers to entry, including but not limited to, the presence of partners (if it is not a population-specific site, such as for survivors of domestic violence or sexual assault, women, or youth); pets; storage for possessions; and privacy (such as partitions around beds in a dormitory setting or in larger rooms containing more than two beds, or private rooms). The City's shelters, including this Project, meet these requirements.

The Project provides approximately 100 beds which allow for presence of partners. This Project is pet friendly. Participants are allowed to bring their pets to the shelter. There is no pet play area onsite. The Project has storage within each sleeping area for personal possessions and day lockers are available. The Project is designed to provide privacy to participants by providing each family or individual with their own sleeping space. There are separated sleeping spaces with communal bathrooms. Therefore, the project is managed and designed to allow the privacy of participants and is a pet friendly facility for participants who choose to be accompanied by their pets.

The Project uses low barrier best practices that reduce barriers to entry. They include the allowance for presence of partners, pet friendly facilities, storage areas for some possessions, and management and design for individuals' privacy. All of the City's emergency shelters, including this project, meet these requirements. Therefore, none of the noted conditions would preclude access to the project, and the project is considered crisis and bridge housing that is "low barrier" within the meaning of Government Code Section 65660 and AB 1197.

In sum, based on the above-noted information, which is additionally explained and provided with additional details in the documents from LAHSA cited in the Reference section to this document, the Project meets the definition of Low Barrier Navigation Center set forth in Government Code Section 65660.

3. The Project Complies with Government Code Section 65662

Under AB1197, emergency shelters must meet the four requirements identified in Government Code Section 65662(a) through (d), which are each discussed in turn in this section.

Connecting to Permanent Housing through a Services Plan. Government Code Section 65662(a) requires that Low Barrier Navigation Centers offer services to connect families and individuals to permanent housing through a services plan that identifies services staffing. This Project meets that requirement. As noted above, the Project includes housing-focused case management sessions that involve developing Housing Stability Plans/Housing and Services Plans, scheduling appointments, and providing necessary follow up to ensure housing stability plans are progressing on schedule and needs are adequately being addressed. This is required in LAHSA's Scope of Required Services.

The Housing Stability Plan is the family or individual's service plan that summarizes the participant's housing goals, services needed, what will be provided, actions that need to be taken (by staff and the participant), and referrals that need to be made. Case managers develop the services plan in coordination with the family or individual right after intake and assessment, track the plan in a homeless management information system, and revise the plan as the family or person's situation changes and steps are completed or revised accordingly.

Families and individuals are assisted with a range of activities that address the stated goals of the family or individual in the Housing Stability Plan, including but not limited to:

- Accessing personal identification (For quick referral to permanent housing)
- Accessing certification of the current income (For quick referral to permanent housing)
- Mainstream Benefits
- Substance Abuse services
- Mental Health Services
- Health Services
- Vocational Services
- Employment Services
- Educational Support
- Legal Services
- Life Skills Development
- Independent Living Program for Youth
- Transitional Housing Program for Youth
- CES and CoC Rapid Re-Housing Program
- Housing Navigation Assistance
- CoC Permanent Supportive Housing
- LA County Department of Health Services, Housing for Health or Housing and Jobs Collaborative
- LA County Department of Health Services, Countywide Benefits Entitlement Services Team
- LA County Department of Mental Health, Countywide Housing Assistance Program
- Veterans Administration Housing Programs
- Housing Opportunities for Persons with Aids (HOPWA) Housing

- Crisis Housing for Unaccompanied Youth
- Youth Family Reconnection Program

Progress and problems implementing the plan are reviewed and updated frequently.

Coordinated Entry System. Government Code Section 65662(b) requires Low Barrier Navigation Centers to be linked to a coordinated entry system allowing staff and co-locating staff to conduct assessments and provide services to connect families and individuals to permanent housing. This is required by LAHSA's Scope of Required Services and Program Standards. Thus, all City of Los Angeles homeless shelters, including this project, are linked to the Los Angeles County Coordinated Entry System, a centralized or coordinated assessment system designed to coordinate program participant intake, assessment, and referrals. The residents are prioritized through the coordinated entry system in the Los Angeles County Coordinated Entry System for safe and supportive housing resources. The City's collaborates with Los Angeles County Case Entry System and provides case management services to program participants through a Housing Stability Plan. Case managers must develop a Housing Stability Plan in coordination with the participant right after intake and assessment. The Housing Stability Plan must be tracked in a Homeless Management Information System (HMIS) along with the date of completion.

The shelter will collaborate with Los Angeles County Case Entry System Housing Navigators and case managers from other outside agencies to provide case management services to program participants. Los Angeles County Coordinated Entry System case managers work with participants and assist by facilitating services appointments; and then eventually help them find permanent housing.

Compliance with Welfare and Institutions Code. Government Code Section 65662(c) requires Low Barrier Navigation Centers comply with Chapter 6.5 of Division 8 of the Welfare and Institutions Code, which specifies the Housing First requirements. As noted above, the City's emergency shelters, including this project, are Housing First shelters, and thus they comply with this requirement.

Homeless Management Information System. Government Code Section 65662(d) requires Low Barrier Navigation Centers to have a system for entering stays, demographics, income, and exit destination through a local Homeless Management Information System designed to coordinate program participant intake, assessment, and referrals. These are required by LAHSA's Scope of Required Services and Program Standards. The City's emergency shelters use such a system in the Los Angeles Continuum of Care Homeless Management Information System (HMIS). In 2001, Congress directed the U.S. Department of Housing and Urban Development (HUD) to ensure the collection of more reliable data regarding the use of homeless programs. HUD required all Continuum of Care applicants to demonstrate progress in implementing a Homeless Management System (HMIS). LAHSA led a regional planning process, encompassing three Continuums of Care - Los Angeles, Glendale, and Pasadena. This process resulted in the selection of a system that would not only satisfy the HUD mandate,

but would also provide the Los Angeles Continuum with a means to measure the effectiveness of programs serving homeless families. Presently, the Los Angeles Continuum of Care (LACoC) is part of a collaborative called the Los Angeles HMIS Collaborative. The LA HMIS Collaborative consists of three Continuums of Care (CoC): Los Angeles, Glendale, and Pasadena.

HMIS is a web-based application that is designed to collect information on the characteristics and service needs of homeless persons. The system allows agency users and the Los Angeles Homeless Services Authority (LAHSA) to use collected information for informed programmatic decision-making. Participating agencies collect and input standardized client-level and demographic data into the system, including client/household demographic details; relationships within a family and household; client/household income; client/household documents; case management and services; housing placements; and progress for housing retention. The HMIS includes a focus on Outcomes Management that sets and measures milestones and target achievements of clients and program performance.

Housing Stability Plans are tracked in a Homeless Management Information System (HMIS) along with the date of completion. Case managers complete a Monthly Update with the family to assess progress towards achieving the goals defined in the Housing Stability Plan. All services must be tracked, and information is provided to families in HMIS with the goal of the individuals achieving housing stability and sustainability upon exit from the program. Exit destination information is also collected. Accordingly, the Project meets the HMIS requirements.

In sum, based on the above-noted information, which is additionally explained in more detail in the documents from LAHSA cited in the Reference section to this document, the Project meets the requirements set forth in Government Code Section 65662.

4. The Project is in a Qualified Location Under AB 1197

AB 1197 requires that the site be located in "either a mixed-use or nonresidential zone permitting multifamily uses or infill site...." (PRC § 21080.27(a)(2).) The project is considered an infill site because the site has been developed with, and its perimeter is surrounded by, qualified urban uses.

The site located at 1300 - 1332 West Slauson Avenue meets this requirement because it is developed with a qualified urban use and at least 75% of the perimeter of the site is surrounded by qualified urban uses. The Project site is zoned CM-1-CPIO with Hybrid Industrial land use designation. The parcels that surround the site are also qualified urban uses, hybrid industrial land uses are located to the west and east of Project site, low medium residential uses are located to the south of the Project site, and a Metro Rail Corridor, an institutional mixed-use, is located to the north across Slauson Avenue (City of Los Angeles Department of City Planning, 2016 and 2021).

The parcel is an infill site that is bounded by parcels that are developed with a combination of qualified urban uses. Further, the site itself is considered a qualified hybrid industrial

(live/work zone) urban use because it allows for mixed uses. The site is bounded on the north, south, and west by qualified urban uses, as described above.

The project site is located within an urban area on a parcel that is currently developed with an institutional/commercial use and surrounded by qualified urban uses. Therefore, the site meets the definition of infill site. Therefore, the Project site is surrounded by qualified urban uses and is considered a qualified location under AB 1197.

5. The Project Involves Qualified Funding Under AB 1197

AB 1197 (Public Resources Code Section 21080.27(a)(2)(A)-(D) exempt emergency shelter projects from CEQA which have at least a portion of the funding from qualified sources. The Project is funded, at least in part, through State of California Homeless Housing, Assistance and Prevention Grant Program (HHAP) for the improvements. The City also has determined that the Project is a homeless shelter project that would qualify for the other homeless shelter funding sources identified in AB 1197, and that those funds may be applied to this Project if such funding becomes available, which further qualifies this Project for the exemption under AB 1197. Because these funding sources are qualified funding sources under Public Resources Code Section 21080.27(a)(2)(A), the funding requirement is met.

6. The City's Actions Qualify under AB 1197 as Actions in Furtherance of Providing Emergency Shelters in the City of Los Angeles

AB 1197 (Public Resources Code Section 21080.27(b)(1)), exempts from CEQA "any activity approved by or carried out by the City of Los Angeles in furtherance of providing emergency shelters or supportive housing in the City of Los Angeles." This Project involves minor improvements to an existing warehouse facility, that will be converted into, then leased and operated as an emergency homeless shelter, as described above, which is located in the City of Los Angeles. The City will provide funding and enter into contracts with a qualified service provider and/or LAHSA, to lease and operate the emergency shelter. Therefore, the City's actions are in furtherance of providing emergency shelters in the City of Los Angeles and qualify for exemption from CEQA under AB 1197.

7. AB 1197 Conclusion

Based on the above-noted information, the Project is exempt from CEQA pursuant to Public Resources Code Section 21080.27.

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Attachment
Project Site Plan

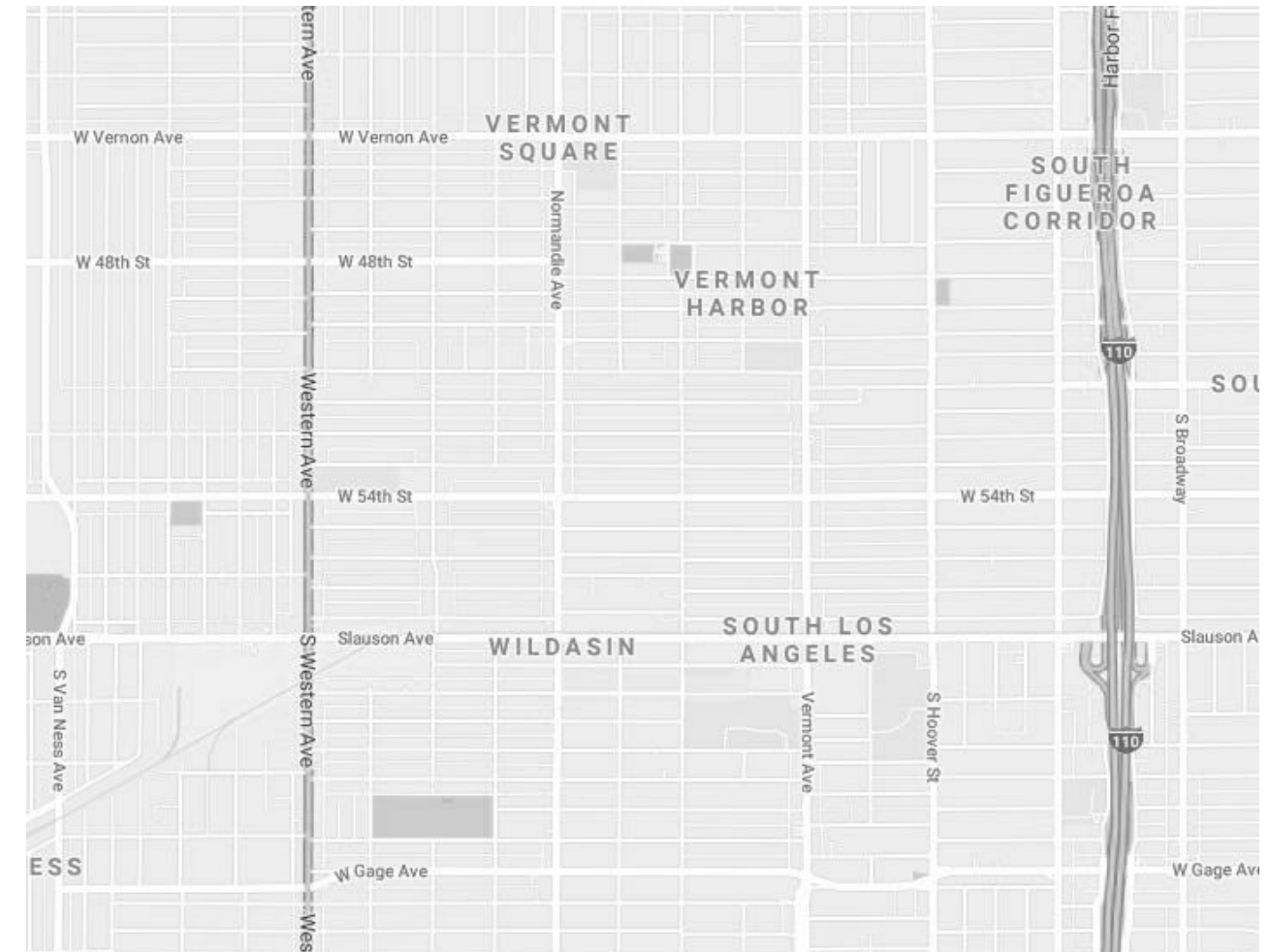
MULTI-USE PLANS FOR DIFFERENT DEPARTMENTS IN CITY OF LOS ANGELES

KING SOLOMON VILLAGE

VICINITY MAPS



VICINITY MAP (N.T.S)



ENLARGED VICINITY MAP (N.T.S)

PROJECT DIRECTORY

ANDERSON BARKER ARCHITECTS Architecture 5901 W. Century Boulevard Suite 822 Los Angeles, CA 90045 310.988.1080

ABBREVIATIONS

Table of abbreviations for architectural symbols, including diameters, materials, and construction terms.

GENERAL CONSTRUCTION NOTES

A. GENERAL CONSTRUCTION NOTES

- 1. THE GENERAL CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION, REMODEL, OR DEMOLITION WORK, MATERIALS, METHODS, ETC., IN ACCORDANCE WITH THE CODES LISTED IN THESE DOCUMENTS...

B. GENERAL DRAWING/ DIMENSION NOTES

- 1. DRAWINGS AND SPECIFICATIONS, AND ALL COPIES THEREOF ARE LEGAL INSTRUMENTS OF SERVICE FOR THE USE OF THE OWNER AND AUTHORIZED REPRESENTATIVES ON THE DESIGNATED PROPERTY ONLY...

C. GUARANTEES

- 1. EACH CONTRACTOR AND SUBCONTRACTOR PARTICIPATING IN ANY PORTION OF LANDLORD'S WORK OR TENANT'S WORK SHALL GUARANTEE THAT SUCH PORTION WILL BE FREE FROM AND ANY AND ALL DEFECTS IN WORKMANSHIP AND MATERIALS FOR THE PERIOD OF THE TIME WHICH CUSTOMARILY APPLIES IN GOOD CONTRACTING PRACTICE IN THE COUNTY AND STATE...

CODES AND REGULATION

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS INCLUDING BUT NOT LIMITED TO: 1 - ORDINANCE NO. 185490 OF SECTION 91.8605 OF DIVISION 86 OF ARTICLE 1 OF CHAPTER IX OF THE LOS ANGELES MUNICIPAL CODE

PROJECT INFORMATION

Table with project details: ADDRESS (1328 W. SLAUSON AVE.), ACCESSOR'S PARCEL NO. (6003001031), TRACT (TR 1266), MAP REFERENCE (M B 18-83 (SHT 1)), etc.

DEFERRED SUBMITTALS

- SLEEPING UNIT (DOME UNITS) STRUCTURAL ATTACHMENT DETAILS RESTROOM AND SHOWER TRAILER CALIFORNIA TAG NUMBERS RESTROOM AND SHOWER TRAILER CALIFORNIA CERTIFICATION

SEPARATE SUBMITTALS

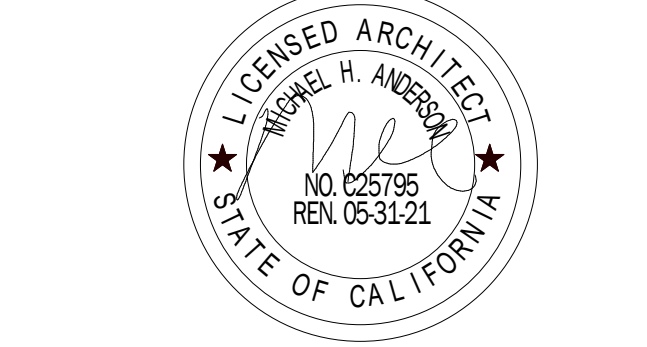
- LAND OF USE PERMIT ELECTRICAL PERMIT MECHANICAL PERMIT PLUMBING PERMIT



PROJECT KING SOLOMON VILLAGE

Table listing project roles: CLIENT 1, CLIENT 2, REPRESENTATIVE, ARCHITECT 1 (ANDERSON BARKER ARCHITECTS), CITY DESIGN STUDIO ARCHITECTURE, SECONDARY DESIGNERS, ENGINEER 1, ENGINEER 2.

REGISTRATION



Each Construction Issue prepared by the Architect describes a portion of the Work required for the total Project. Each Construction Issue may contain one or more Bid Packages or Work Categories as defined by the Owner.

ATTORNEY - CLIENT PRIVILEGED CONFIDENTIAL COMMUNICATION

CONSTRUCTION DOCUMENTS

ISSUE / REVISION

Table for issue and revision tracking with columns for issue number, date, and description.

KEY PLAN



PROJECT NUMBER

Project Number SHEET TITLE COVER PAGE

SHEET NUMBER

A001

SYMBOLS

Table of architectural symbols for details, elevations, and materials.

LEGEND

Table of material and finish legends.

ROOM SCHEDULE

Table of room schedule with columns for room number, name, occupancy, and area.

Sheet List

Table of sheet list with columns for sheet number and sheet name.

CLIENT 1
-
CLIENT 2
-
REPRESENTATIVE
-

ARCHITECT 1
-

ANDERSON BARKER ARCHITECTS
ARCHITECTURE

CITY DESIGN STUDIO
ARCHITECTURE

SECONDARY DESIGNERS
-

ENGINEER 1
-

ENGINEER 2
-

REGISTRATION



Each Construction Issue prepared by the Architect describes a portion of the Work required for the total Project. Each Construction Issue may contain one or more Bid Packages or Work Categories as defined by the Owner. A Construction Issue may modify a previously issued document & when issued, supersedes all previous Construction Issues & Modification Documents containing the same document. Individual Construction Issues by their nature are partial Contract Documents & based in part on preliminary or otherwise incomplete information. It is the Contractor's responsibility to augment each Construction Issue using techniques, including unit pricing, allowances, & alternates, to provide a complete scope of work. Due to the refinement & detailing necessary from time to time in order to develop the final Contract Documents, the Contractor shall review all Construction Issues & coordinate the information given in subsequent Construction Issues with that given in earlier Construction Issues.

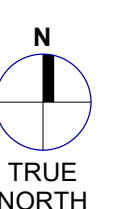
ATTORNEY - CLIENT PRIVILEGED
CONFIDENTIAL COMMUNICATION

CONSTRUCTION DOCUMENTS

ISSUE / REVISION

NO.	DATE	CD %/75	DESCRIPTION
1	05/13/21	CD %/75	

KEY PLAN



PROJECT NUMBER

SHEET TITLE

SITE PLAN

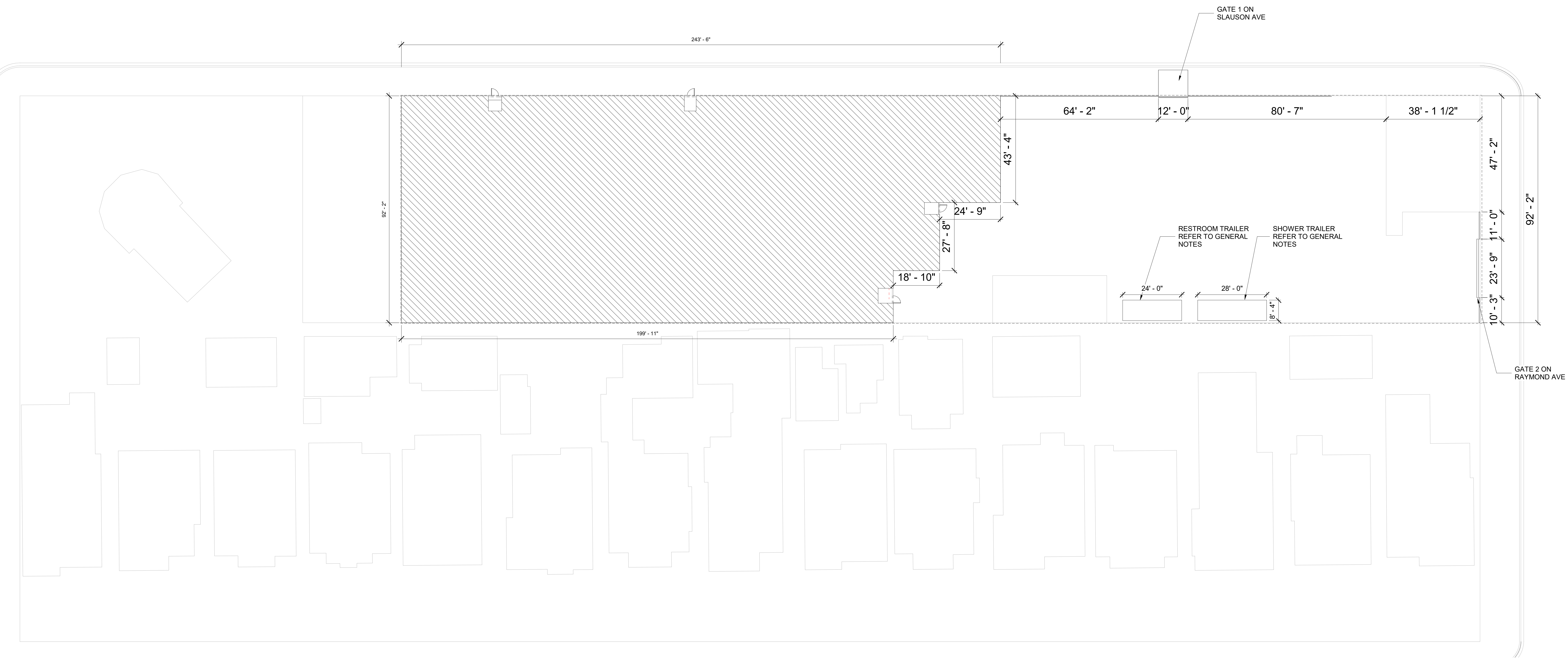
SHEET NUMBER

A003

SLAUSON AVENUE

NORMANDIE AVENUE

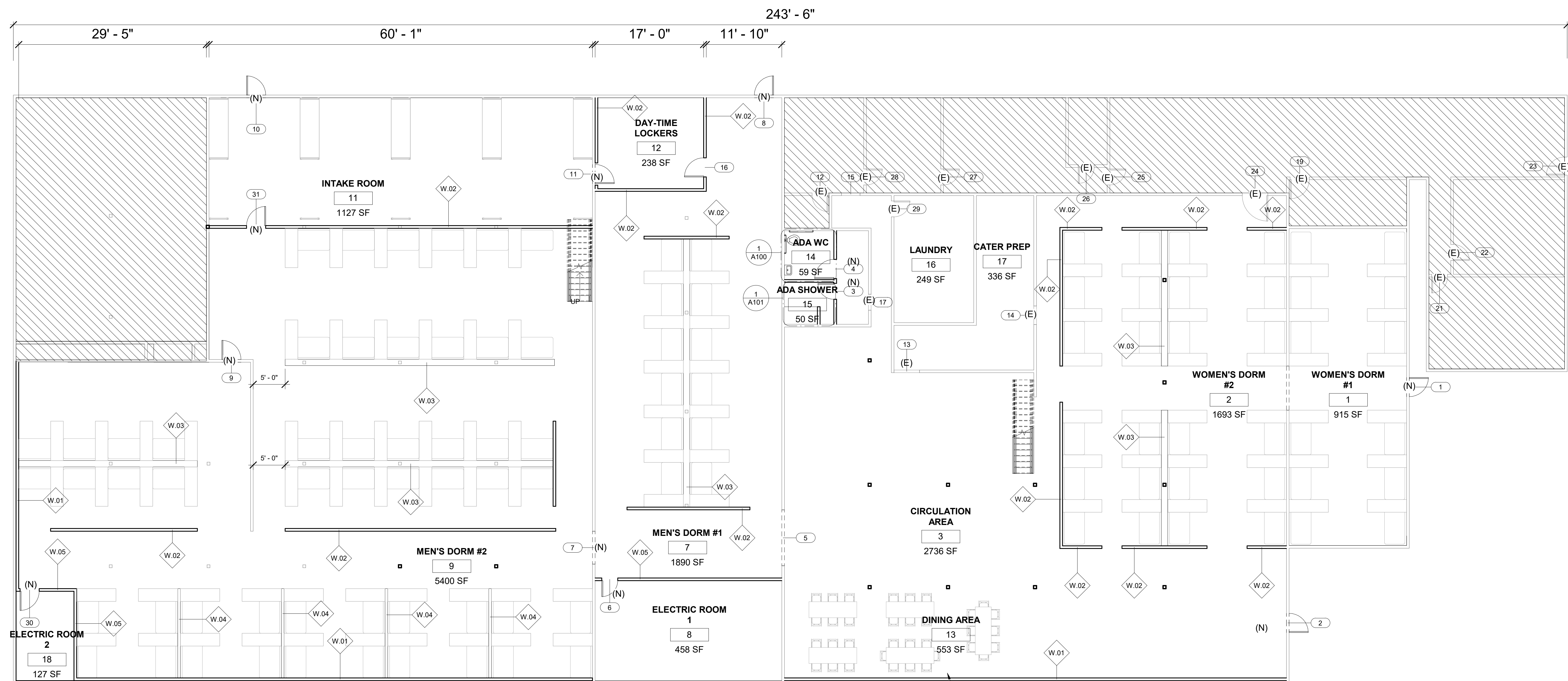
RAYMOND AVENUE



1 SITE PLAN
1/16" = 1'-0"

GENERAL NOTES

- ALL GARBAGE AND RUBBISH TO BE DEPOSITED IN APPROVED COVERED RECEPTACLES, WHICH SHALL BE EMPTIED WHEN FILLED AND THE CONTENTS TO BE DISPOSED OF IN A SANITARY MANNER.
- OPERATING PROCEDURES INCLUDING A SECURITY PLAN AND SERVICE REQUIREMENTS SHALL BE DEVELOPED WITH THE PROFESSIONAL SERVICE PROVIDER CONTRACTED BY THE CLIENT IN A SEPARATE APPLICATION SET. PROCEDURES TO BE CONSISTENT WITH STANDARDS IMPOSED BY THE LOS ANGELES HOMELESS SERVICE AUTHORITY (LAHSA) SERVICE AGREEMENTS. THESE PROCEDURES SHALL BE DESIGNED TO MAINTAIN ORDER AND SAFETY WITHIN THE EMERGENCY HOMELESS SHELTER.
- AT THE TIME OF THE ISSUANCE, THE COVID-19 PANDEMIC IMPOSES LIFE-THREATENING IMPACTS EXACERBATED BY HOMELESSNESS. SECTION 91.8605.5 OF DIVISION 86 OF ARTICLE 1 OF CHAPTER IX OF THE LOS ANGELES MUNICIPAL CODE IS INVOKED AS AN URGENCY CLAUSE.
- SITE INCLUDES 2 TRAILERS FOR WC AND BATHING FACILITIES. 1 INCLUDING 4 WOMEN'S WC AND 4 MEN'S WC. 1 TRAILER INCLUDING 4 WOMEN'S BATHING FACILITIES AND 4 MEN'S BATHING FACILITIES. ADA WC AND BATHING FACILITIES ARE LOCATED IN THE BUILDING. REFER TO THE FLOOR PLAN AND RESTROOM/BATHING DRAWINGS.
- WATER AND SEWER PERMITS FOR TRAILERS TO BE ISSUED SEPARATELY.
- SITE CONTAINS MAIN BUILDING AND 2 ANCILLARY BUILDINGS. REFER TO SITE PLAN FOR LOCATION OF ANCILLARY BUILDINGS. THIS APPLICATION COVERS ONLY WORK IN THE MAIN BUILDING AND THERE WILL BE NO CHANGE OF USE FOR THE ANCILLARY BUILDINGS. ANCILLARY BUILDINGS TO NOT BE OCCUPIED.
- REFER TO GATE LOCATIONS ON PLAN FOR FIRE DEPARTMENT ACCESS.
- ANY PARKING ON SITE RESERVED FOR STAFF OF PROFESSIONAL SERVICE PROVIDER. PROCEDURES TO BE PROVIDED IN SEPARATE APPLICATION.
- WATER AND POWER TO BE SUPPLIED FROM BUILDING. DETAILS TO BE INCLUDED IN A SEPARATE USE OF LAND PERMIT.
- DEFERRED SUBMITTAL TO BE ISSUED FOR SUBMITTING RESTROOM AND SHOWER TRAILER CALIFORNIA TAG NUMBERS AND CALIFORNIA CERTIFICATIONS.



DINING AREA NOT A WALLED ROOM, BUT A SEPARATE OCCUPANCY IN THE SAME AREA AS CIRCULATION AREA.

1 FLOOR PLAN
1/8" = 1'-0"

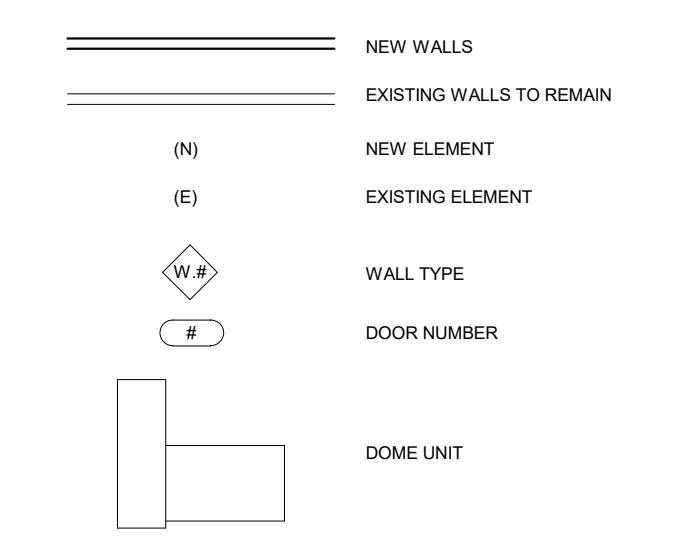
GENERAL NOTES

- FLOOR AREAS ARE BASED ON BUILDING CODE REQUIREMENTS ONLY AND ARE MEASURED TO THE INTERIOR OF EXTERIOR / PERIMETER WALLS AND THE CENTER LINE OF DEMISING WALLS.
- THE EXIT TRAVEL PATH AND COMMON EGRESS PATH ARE ESTIMATES ONLY. ACTUAL PATHS WILL BE DETERMINED BY FUTURE TENANT DRAWINGS.
- THIS IS AN EMERGENCY HOMELESS SHELTER ONLY SET OF PLANS. EMERGENCY HOMELESS SHELTER PLAN SUBMITTALS AND PERMITS ARE REQUIRED PRIOR TO OCCUPANCY OF SHELTER SPACES. OCCUPANCY RELATED ISSUES SHALL BE ADDRESSED DURING SUBMITTAL AND PERMITTING PROCESS.
- LANDLORD TO PROVIDE ACCESSIBLE TACTILE SIGNS AT ALL EXITS. SEE DETAIL #GD007.
- PROVIDE MANUAL FIRE ALARM SYSTEM THROUGHOUT THE ENTIRE PROJECT.
- PROVIDE AN EMERGENCY VOICE / ALARM COMMUNICATION SYSTEM THROUGHOUT THE ENTIRE PROJECT.
- A MANUAL FIRE ALARM SYSTEM THAT ACTIVATES THE EMERGENCY NOTIFICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5 SHALL BE PROVIDED.
- IN THE EVENT OF A POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS:
 - AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
 - CORRIDORS, INTERIOR EXIT STAIRWAYS AND RAMP AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 - EXTERIOR EGRESS COMPONENTS AT OTHER THAN THEIR LEVELS OF EXIT DISCHARGE UNTIL THE EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 - INTERIOR EXIT DISCHARGE ELEMENTS AS PERMITTED IN SECTION 1027, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 - EXTERIOR LANDINGS AS REQUIRED BY SECTION 1010.1.6 FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT, OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH CHAPTER 27.
- MEANS OF EGRESS COMPONENTS LIGHTING SHALL HAVE BATTERY STORAGE THAT PROVIDES POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES.
- EXIT SIGNS SHALL HAVE BATTERY STORAGE THAT PROVIDES POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES.
- EXIT SIGNS ILLUMINATION SHALL HAVE A SEPARATE SOURCE OF POWER (CFC 1013.6.3)
- THE MEANS OF EGRESS SYSTEM SHALL BE ILLUMINATED AT ALL TIMES THE ROOM OR SPACE IS OCCUPIED WITH AT LEAST ONE FOOT-CANDLE AT THE FLOOR LEVEL (CFC 1008.2)
- FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE WHERE THE WALL OCCURS IN AN ACCESSIBLE CONCEALED FLOOR, FLOOR CEILING, OR ATTIC SPACE. SUCH IDENTIFICATION SHALL:
 - BE LOCATED WITHIN 15-FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30-FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
 - INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8 INCH STROKE IN CONTRASTING COLOR PER(703) CFC / (703.7) CBC INCORPORATING THE SUGGESTED WORDING: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS"
- MEANS OF EGRESS FOR ARE CALCULATED BY 0.15' PER OCCUPANT ACCORDING TO CBC 1005.3.2 EXCEPTION 1 SINCE THE EQUIPPED BUILDINGS HAVE AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1 OR 903.3.1.2 AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5.2.2 THROUGHOUT.
- FOR FURTHER DETAILS OF EMERGENCY LIGHTING PLEASE REFER TO THE ELECTRICAL SET.
- CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO BE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET

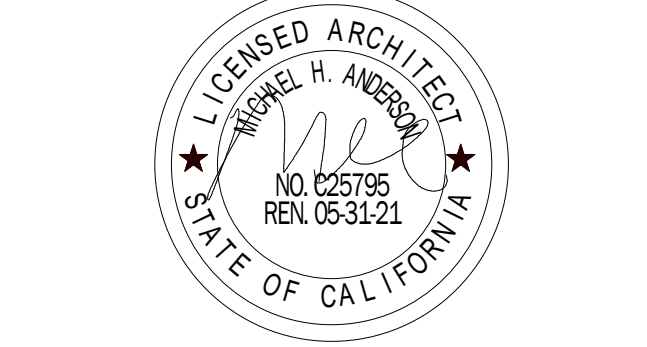
- ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10000.) (SEPARATE PLUMBING PERMIT IS REQUIRED). ORDINANCE 170, 158.
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF THE LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- SEE DRAFT STOP LOCATIONS ON HVAC PLAN IN MECHANICAL SET:
 - IN BUILDINGS USED FOR OTHER THAN RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE INSTALLED IN WOOD FRAME FLOOR CONSTRUCTION CONTAINING CONCEALED SPACE. SUCH DRAFT STOPS MUST BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED (1000) SQUARE FEET. 718.3.3
 - IN BUILDINGS USED FOR OTHER THAN RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE INSTALLED IN THE ATTIC (MANSARDS) (OVERHANGS) (FALSE FRONTS SET OUT FROM WALLS) (SIMILAR CONCEALED SPACES) FORMED BY COMBUSTIBLE CONSTRUCTION. SUCH DRAFT STOPS MUST BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED (3000) SQUARE FEET. 718.4.
 - DRAFT-STOPPING MATERIALS MUST NOT BE LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH PLYWOOD, 3/8-INCH PARTICLE BOARD OR OTHER MATERIALS APPROVED BY THE BUILDING DEPARTMENT. DRAFT-STOPPING MUST BE ADEQUATELY SUPPORTED.
- FIRE BLOCKING MUST BE PROVIDED IN ACCORDANCE WITH SECTION 718.2 AT THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS,
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
 - AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO BE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1204.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10-FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (1204.1 AND 1204.3)
- REFER TO ENLARGED PLANS ON A103 AND A104 FOR ALL SPACE DIMENSIONS.
- INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS IN COMPLIANCE WITH LAMC SECTION 57.803 AND 57.804.
- REFER TO GENERAL DOCUMENTS FOR FLAME-SPREAD RATING OF PANELING MATERIALS ON WALLS OF THE EXIT ENCLOSURES.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1204.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10-FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (1204.1 AND 1204.3)
- INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803.1.3. FINISH CLASSIFICATIONS ACCORDING TO TABLE 803.12 AND SECTION 803.3.
- REFER TO GENERAL DOCUMENTS FOR FLAME-SPREAD RATING OF PANELING MATERIALS ON WALLS OF THE EXIT ENCLOSURES.
- PENETRATIONS IN WALLS REQUIRING PROTECTED OPENINGS MUST BE FIRESTOPPED WITH AN APPROVED MATERIAL IN ACCORDANCE WITH SECTION 714.4. SPACE BETWEEN PENETRATING MATERIALS (DESCRIBED BELOW) MUST BE DESIGNED TO PREVENT THE MOVEMENT OF HOT FLAME OR GASES.
- REFER TO GENERAL DOCUMENTS FOR GLAZING LAYOUT ATTACHMENT BY HAWORTH FOR GLAZING DETAILS.
 - STEEL, COPPER OR FERROUS PIPES OR CONDUITS MAY PENETRATE CONCRETE OR MASONRY WALLS WHERE THE PENETRATING ITEM IS A MAX. 6-INCH DIAMETER AND THE AREA OF THE OPENING THROUGH THE WALL DOES NOT EXCEED 144 SQUARE INCHES (714.4.1).

- REFER TO THE GLAZING LAYOUT ATTACHMENT BY HAWORTH FOR GLAZING DETAILS.
 - STEEL, COPPER OR FERROUS PIPES OR CONDUITS MAY PENETRATE CONCRETE OR MASONRY WALLS WHERE THE PENETRATING ITEM IS A MAX. 6-INCH DIAMETER AND THE AREA OF THE OPENING THROUGH THE WALL DOES NOT EXCEED 144 SQUARE INCHES (714.4.1).
 - MEMBRANE PENETRATIONS OF MAX. 2-HR FIRE RESISTANCE RATED WALL AND PARTITIONS BY STEEL ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE INCHES ARE PERMITTED PROVIDED OPENINGS DO NOT EXCEED 100 SQUARE INCHES FOR ANY 100 SQUARE FEET OF WALL AREA. OUTLET BOXES ON OPPOSITE SIDES OF WALLS OR PARTITIONS MUST BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES. (714.4.1)
 - WHERE WALLS ARE PENETRATED BY OTHER MATERIALS OR WHERE LARGER OPENINGS ARE REQUIRED THAN PERMITTED IN (B) ABOVE, THEY MUST BE QUALIFIED BY TESTS CONDUCTED IN ACCORDANCE WITH SECTION 714.4.1.2.
- SMOKE AND FIRE DAMPENERS MUST BE INSTALLED IN THE FOLLOWING LOCATIONS PER SECTION 717.5:
 - DUCT PENETRATIONS OF FIRE WALLS. 717.5.1
 - DUCT PENETRATIONS OF FIRE BARRIERS, EXCEPT EXIT ENCLOSURES AND EXIT PASSAGEWAYS WHERE THEY ARE NOT ALLOWED TO PENETRATE. 717.5.2
 - DUCTS PENETRATING SHAFTS. 717.5.3
 - DUCTS PENETRATING FIRE PARTITIONS AND FIRE-RATED CORRIDOR WALLS. SEE EXCEPTION FOR STEEL DUCTS WITH NO OPENINGS INTO CORRIDOR. 717.5.4.
 - DUCTS PENETRATING SMOKE BARRIERS. 717.5.5
 - DUCTS PENETRATING EXTERIOR WALLS. 717.5.6
 - DUCTS PENETRATING SMOKE PARTITIONS. 717.5.7
 - DUCTS PENETRATING HORIZONTAL ASSEMBLIES. 717.6
- REFER TO MECHANICAL SET FOR PLACEMENTS OF FIRESTOPPING, SMOKE AND FIRE DAMPENERS IN PENETRATIONS.
- REFER TO DETAILS FOR DOOR THRESHOLD SECTIONS.
- SMOKE ALARMS SHALL BE PROVIDED IN ALL SLEEPING AREAS AND SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 7 OF CHAPTER V OF THE LAMC AND CBC SECTION 907.2.11.
- PORTABLE FIRE EXTINGUISHERS TO BE PROVIDED PER THE LOS ANGELES FIRE CODE AND TITLE 19 OF THE CALIFORNIA CODE OF REGULATIONS.
- THE USE OF ANY OPEN FLAMES AND THE POSSESSION OR STORAGE OF ANY COMBUSTIBLES NOT PERMITTED.
- EXISTING EXTERIOR OPENINGS TO REMAIN. REFER TO ELEVATIONS FOR GLAZING DIMENSIONS.
- ALL SLEEPING AREAS TO BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 70 FAHRENHEIT DEGREES AT A POINT 8 FT ABOVE FLOOR.
- ALL FLOOR TO BE COATED WITH NON-SLIPPERY FINISH TO ABIDE BY ADA STANDARDS.
- SEPARATE APPLICATION FOR MECHANICAL, ELECTRIC AND PLUMBING CONSTRUCTION TO BE SUBMITTED BY CONTRACTOR.
- NO USE OF OPEN FIRE ALLOWED IN CATER PREP. ONLY STORAGE AND PREPARATION OF FOOD.
- MEZZANINE LEVELS NOT TO BE USED.
- S-OCCUPANCY AREAS TO BE USED FOR FOLLOWING PURPOSE: UNHOUSED INDIVIDUALS NOT SHELTERED IN KING SOLOMON VILLAGE WILL USE LOCKERS IN STORAGE AREAS IN S-OCCUPANCY ROOMS TO DROP OFF PERSONAL ITEMS TO BE STORED DURING NIGHT TIME. LOCKERS TO BE ACCESSIBLE ONLY DURING DAYTIME, HENCE AS DAY-USE LOCKERS.
- NO WEIGHT SHOULD BE ADDED TO THE ROOF SUPPORTING STRUCTURE WITHOUT ANALYSIS AND APPROVAL BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA.

SYMBOLS LEGEND



REGISTRATION



Each Construction Issue prepared by the Architect describes a portion of the Work required for the total Project. Each Construction Issue may contain one or more Bid Packages or Work Categories as defined by the Owner. A Construction Issue may modify a previously issued document & when issued, supersedes all previous Construction Issues & Modification Documents containing the same document. Individual Construction Issues by their nature are partial Contract Documents & based in part on preliminary or otherwise incomplete information. It is the Contractor's responsibility to augment each Construction Issue using techniques, including unit pricing allowances, & alternatives, to provide a complete scope of work. Due to the refinement & detailing necessary from time to time in order to develop the final Contract Documents, the Contractor shall review all Construction Issues & coordinate the information given in subsequent Construction Issues with that given in earlier Construction Issues.

**ATTORNEY - CLIENT PRIVILEGED
CONFIDENTIAL COMMUNICATION**

CONSTRUCTION DOCUMENTS

ISSUE / REVISION

NO.	DATE	DESCRIPTION
1	05/13/21	CD %75

KEY PLAN



PROJECT NUMBER

Project Number

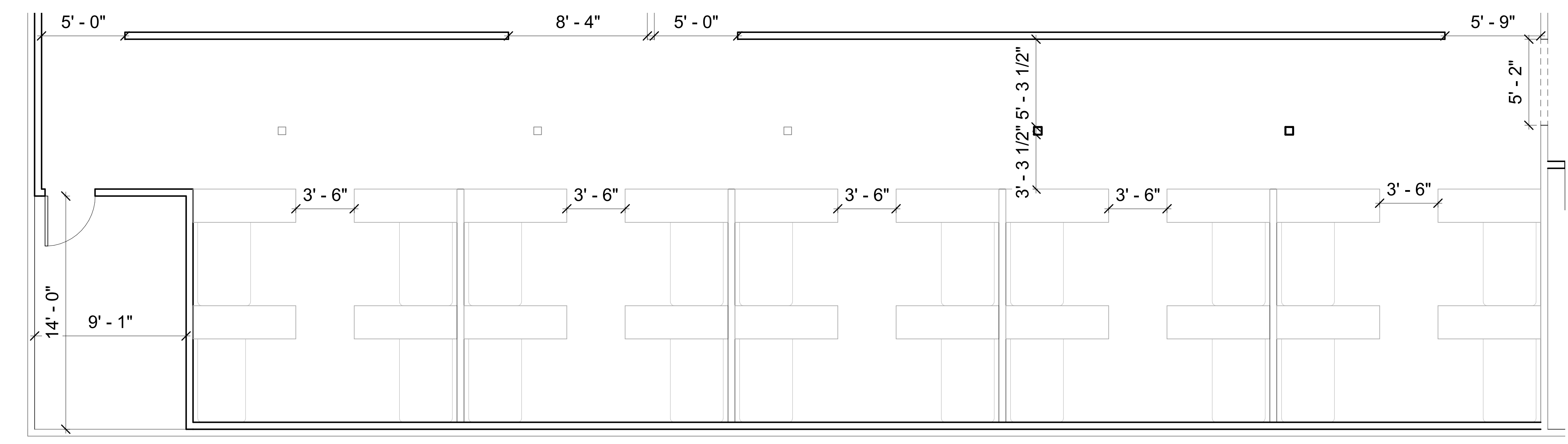
SHEET TITLE

FLOOR PLAN

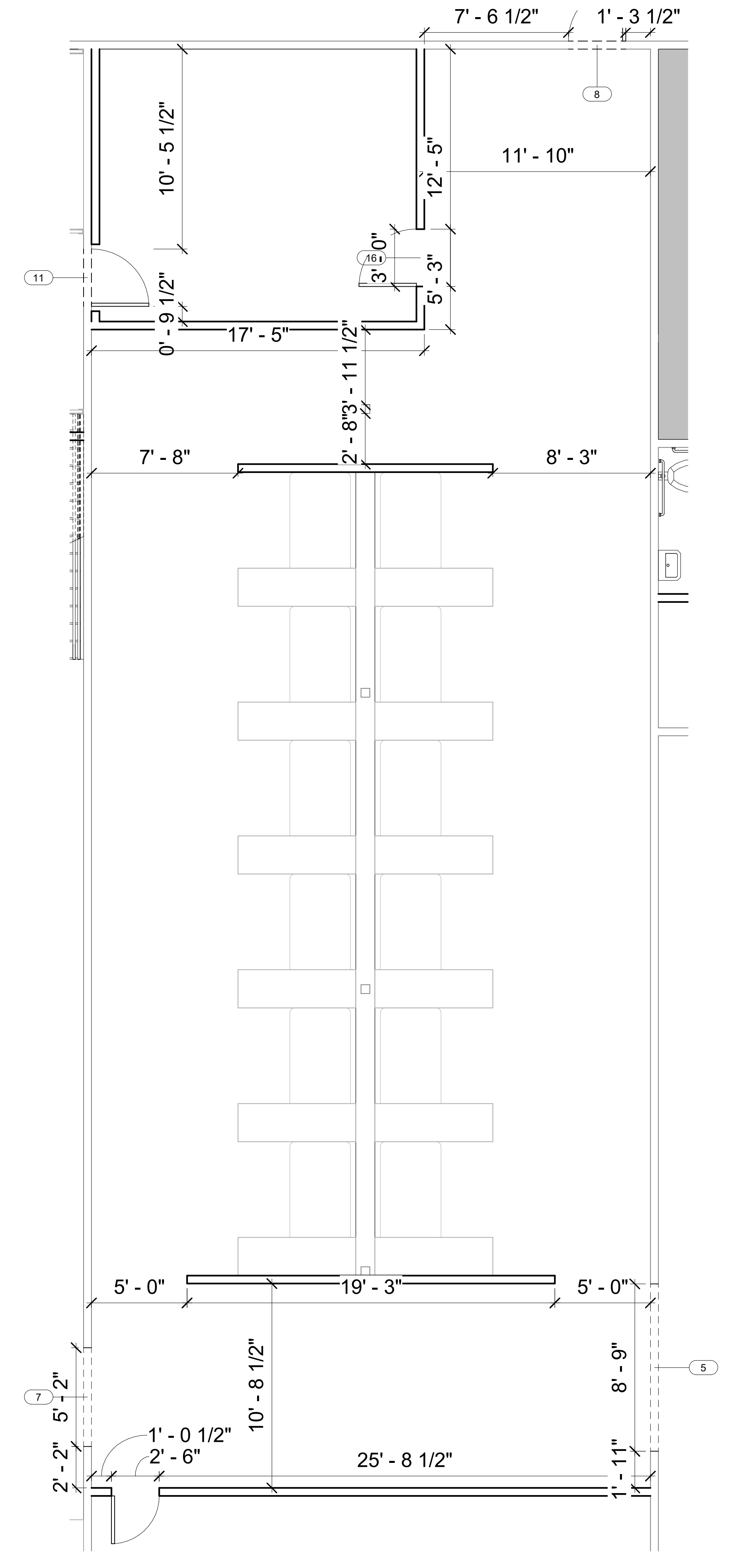
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A004

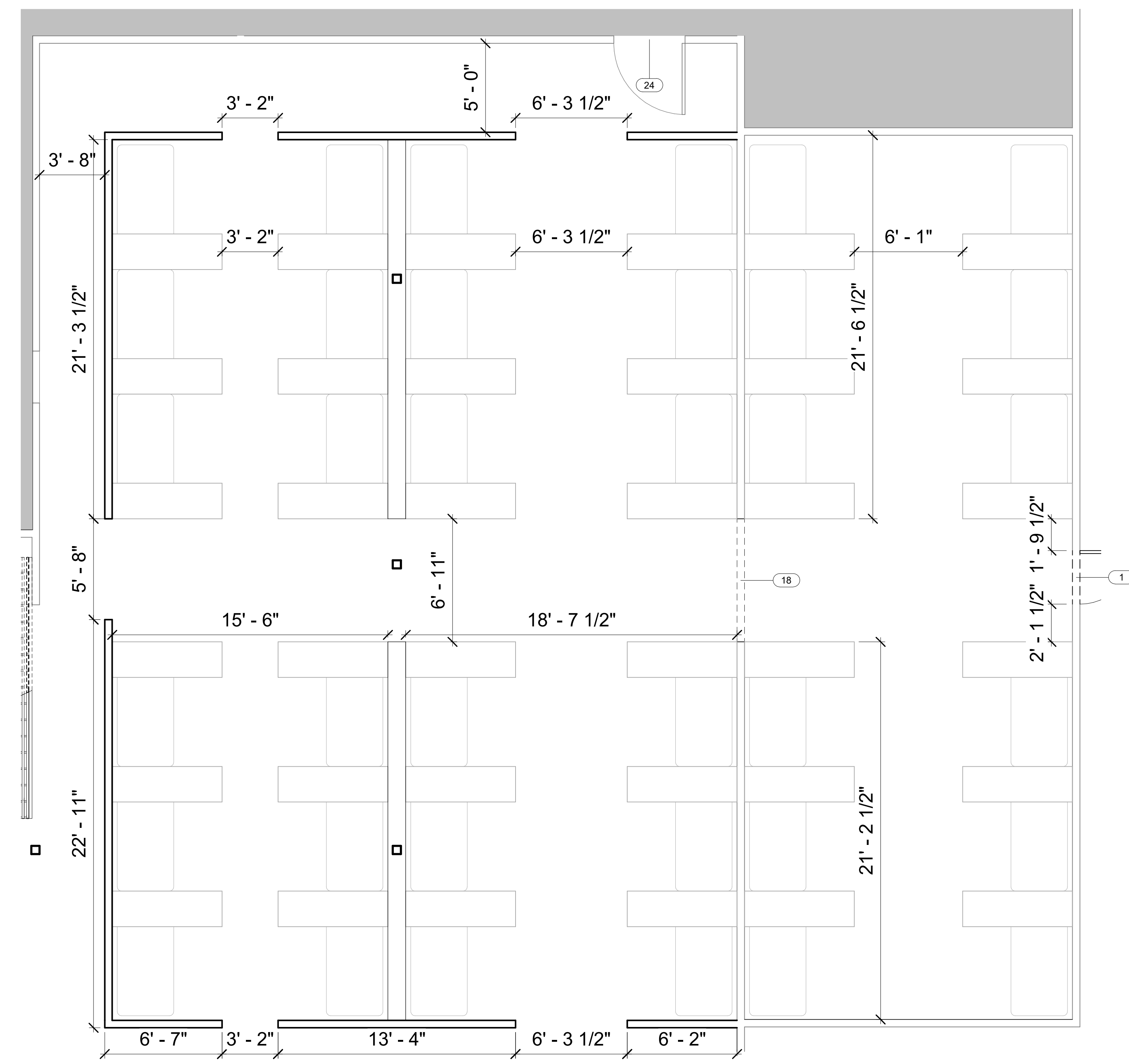
CLIENT 1
-
CLIENT 2
-
REPRESENTATIVE
-
ARCHITECT 1
-
ANDERSON BARKER ARCHITECTS
ARCHITECTURE
CITY DESIGN STUDIO
ARCHITECTURE
SECONDARY DESIGNERS
-
ENGINEER 1
-
ENGINEER 2
-



3 MEN'S DORM #2 - CALLOUT 1
1/4" = 1'-0"

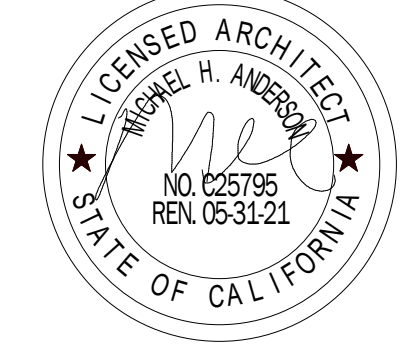


2 MEN'S DORM #1 AND EXTERNAL SERVICES #3
1/4" = 1'-0"



1 WOMEN'S DORMS AREA
1/4" = 1'-0"

REGISTRATION



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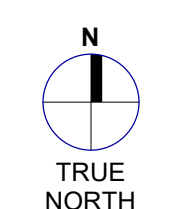
ATTORNEY - CLIENT PRIVILEGED
CONFIDENTIAL COMMUNICATION

CONSTRUCTION DOCUMENTS

ISSUE / REVISION

NO.	DATE	CD %/5	DESCRIPTION
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KEY PLAN



PROJECT NUMBER

SHEET TITLE

ENLARGED PLANS

SHEET NUMBER

A005

CLIENT 1

CLIENT 2

REPRESENTATIVE

ARCHITECT 1

ANDERSON BARKER ARCHITECTS
ARCHITECTURE

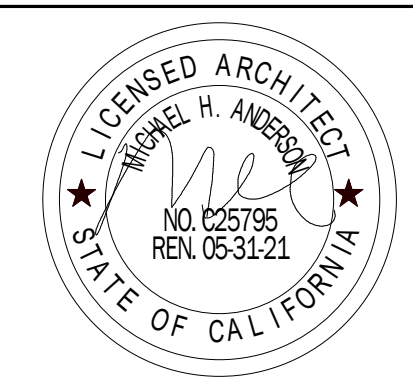
CITY DESIGN STUDIO
ARCHITECTURE

SECONDARY DESIGNERS

ENGINEER 1

ENGINEER 2

REGISTRATION



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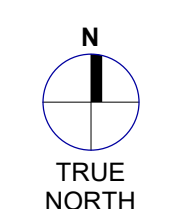
ATTORNEY - CLIENT PRIVILEGED
CONFIDENTIAL COMMUNICATION

CONSTRUCTION
DOCUMENTS

ISSUE / REVISION

ISSUE / REVISION	DATE	CD %/5	DESCRIPTION
1	05/13/21	CD %/5	

KEY PLAN



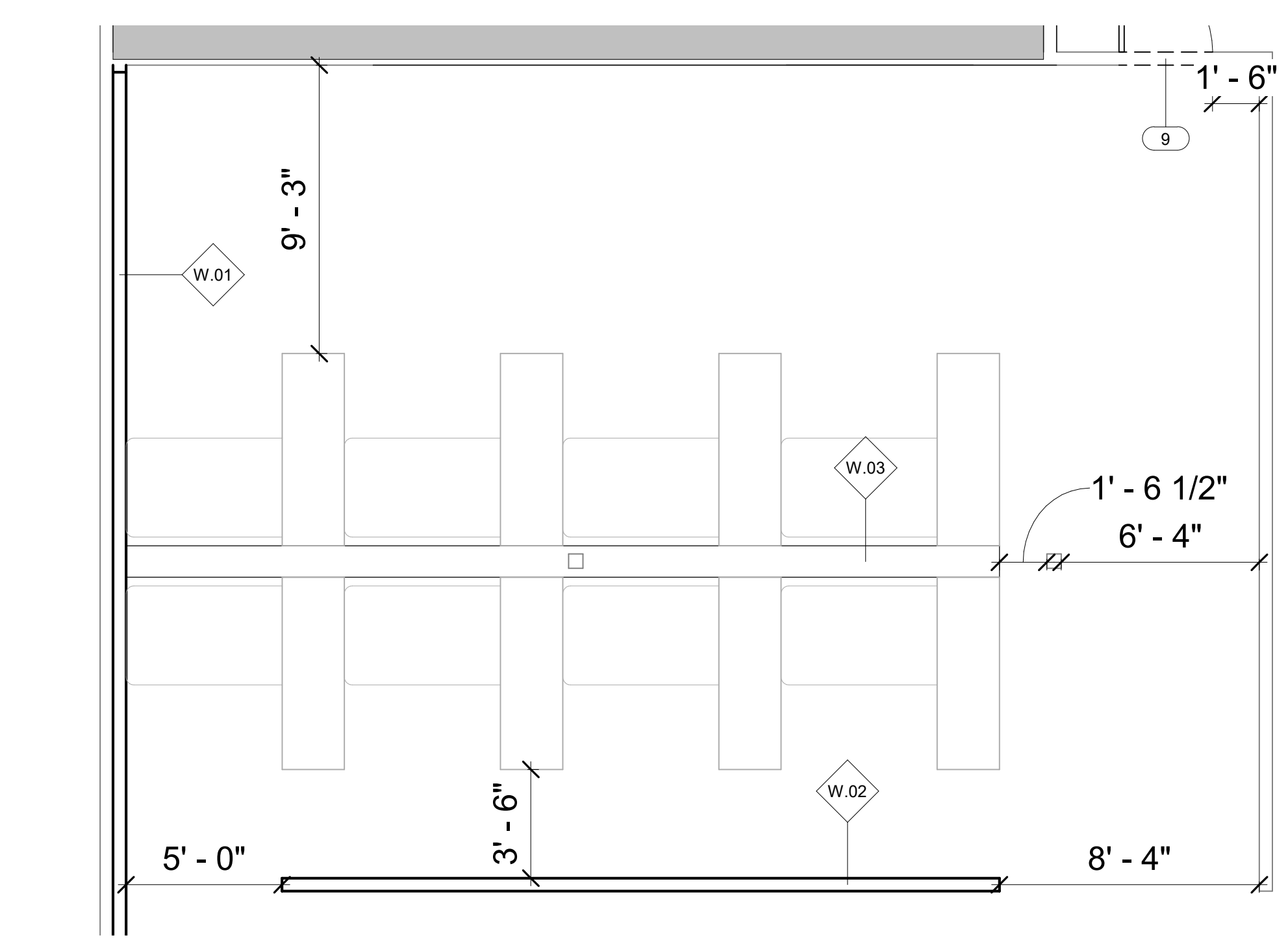
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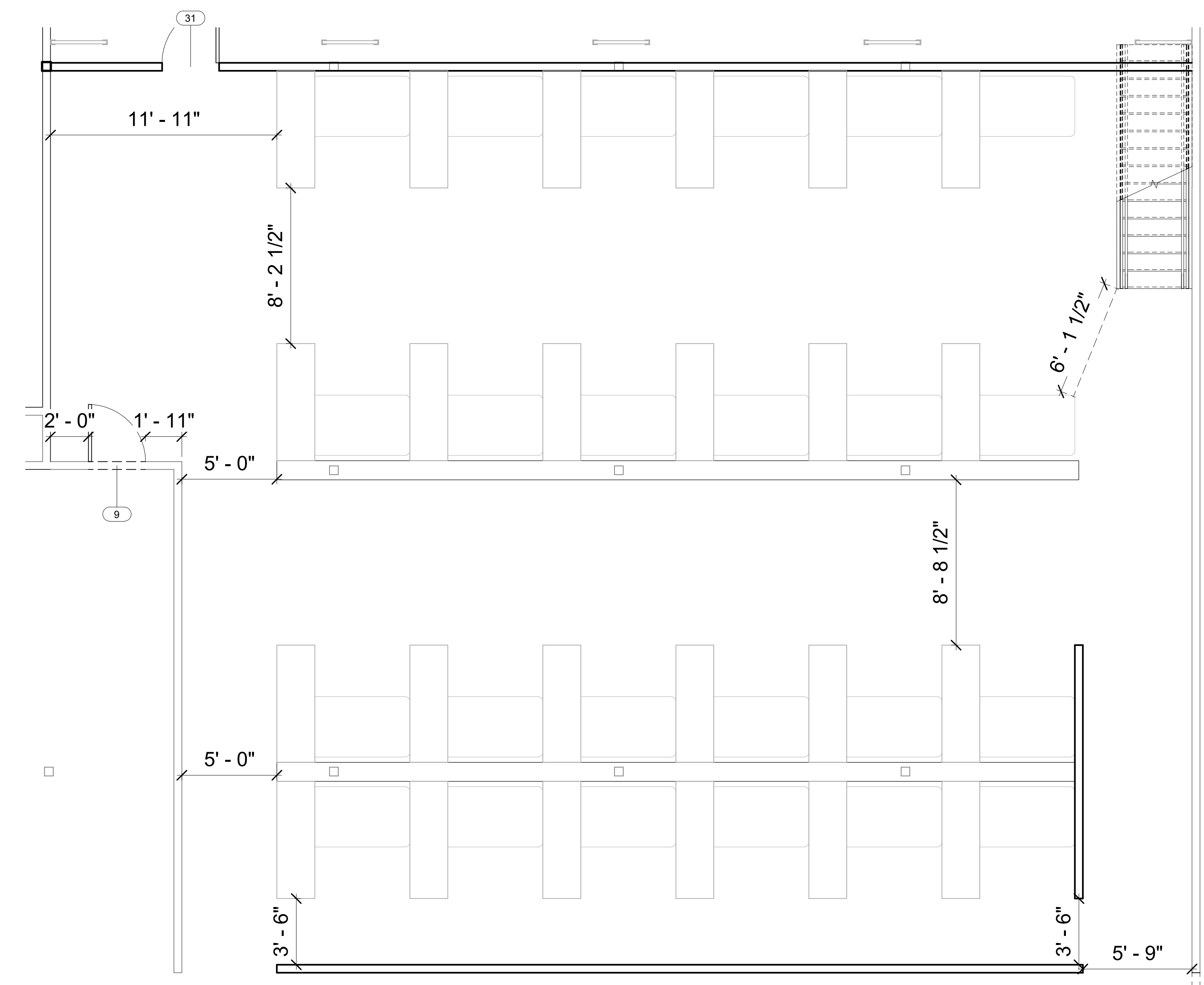
ENLARGED PLANS

SHEET NUMBER

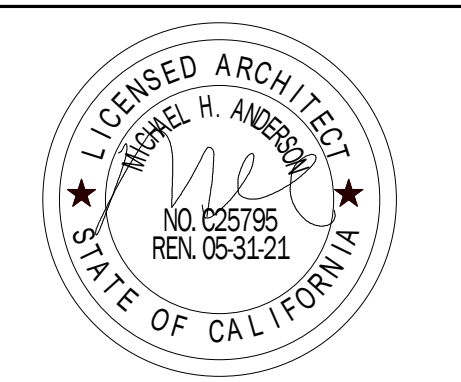
A006



② MEN'S DORM #2 - CALLOUT 3
1/4" = 1'-0"

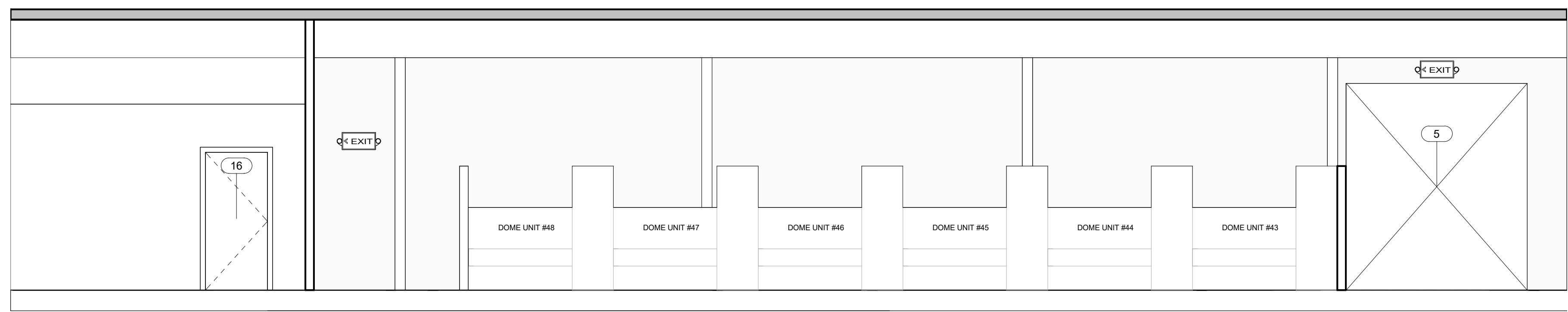


① MEN'S DORM #2 - CALLOUT 2
1/4" = 1'-0"

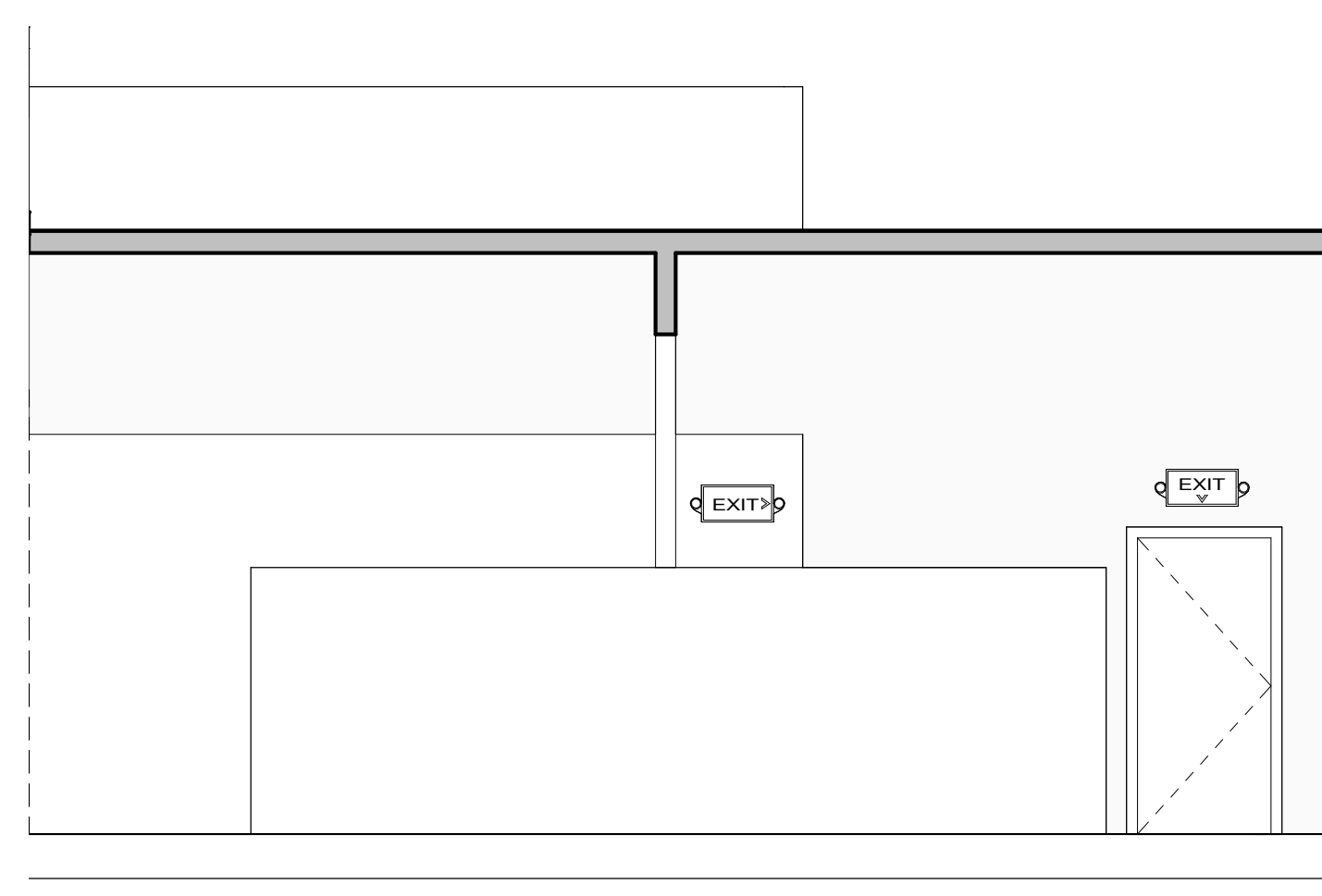


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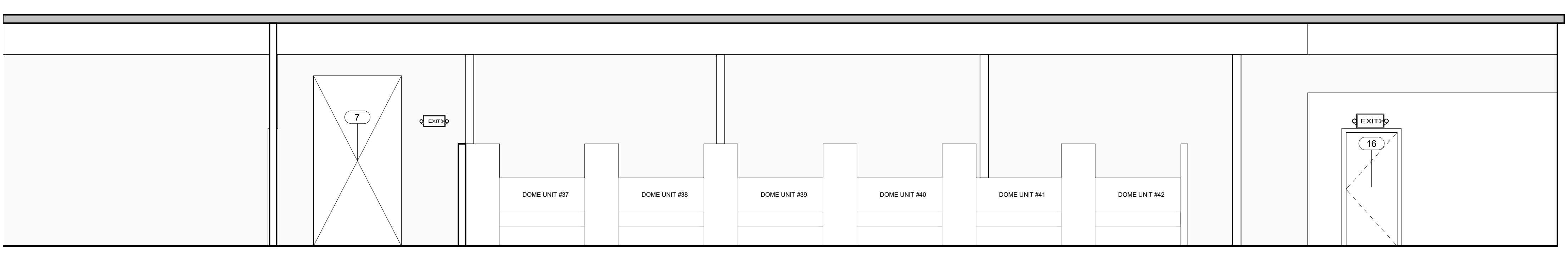
IR	DATE	CD %/5	DESCRIPTION
1	05/13/21	CD %/5	



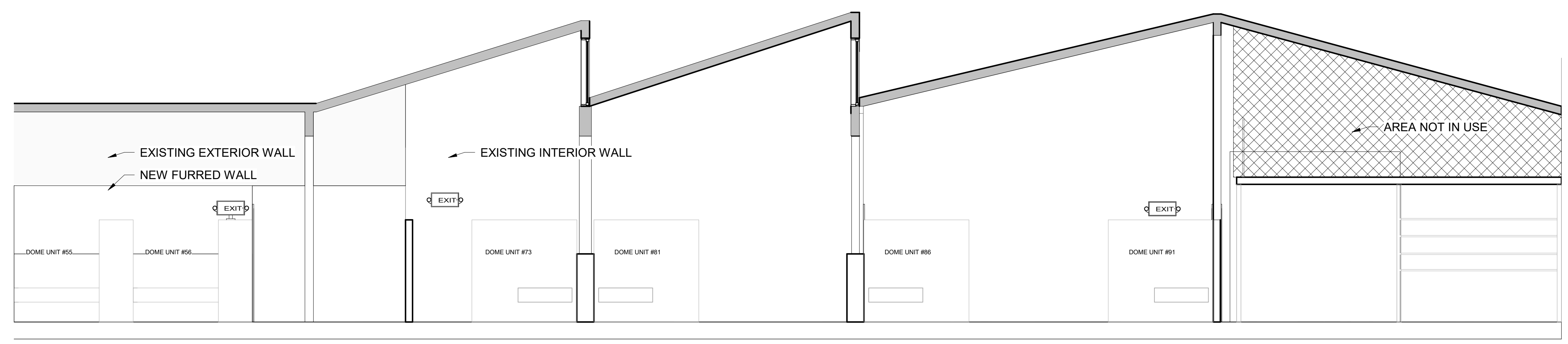
7 MENS DORM #1 - EAST
1/4" = 1'-0"



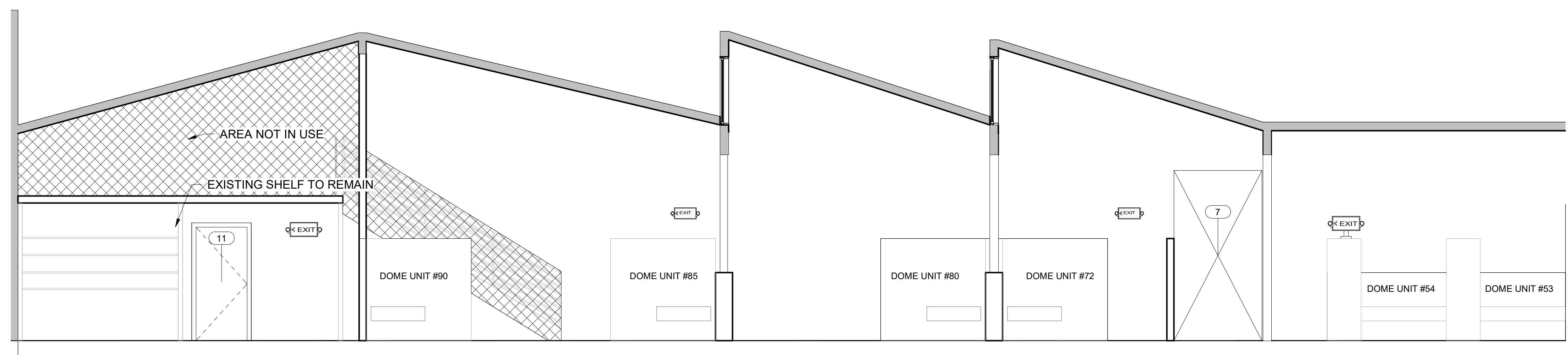
6 MENS DORM #1 - NORTH
1/4" = 1'-0"



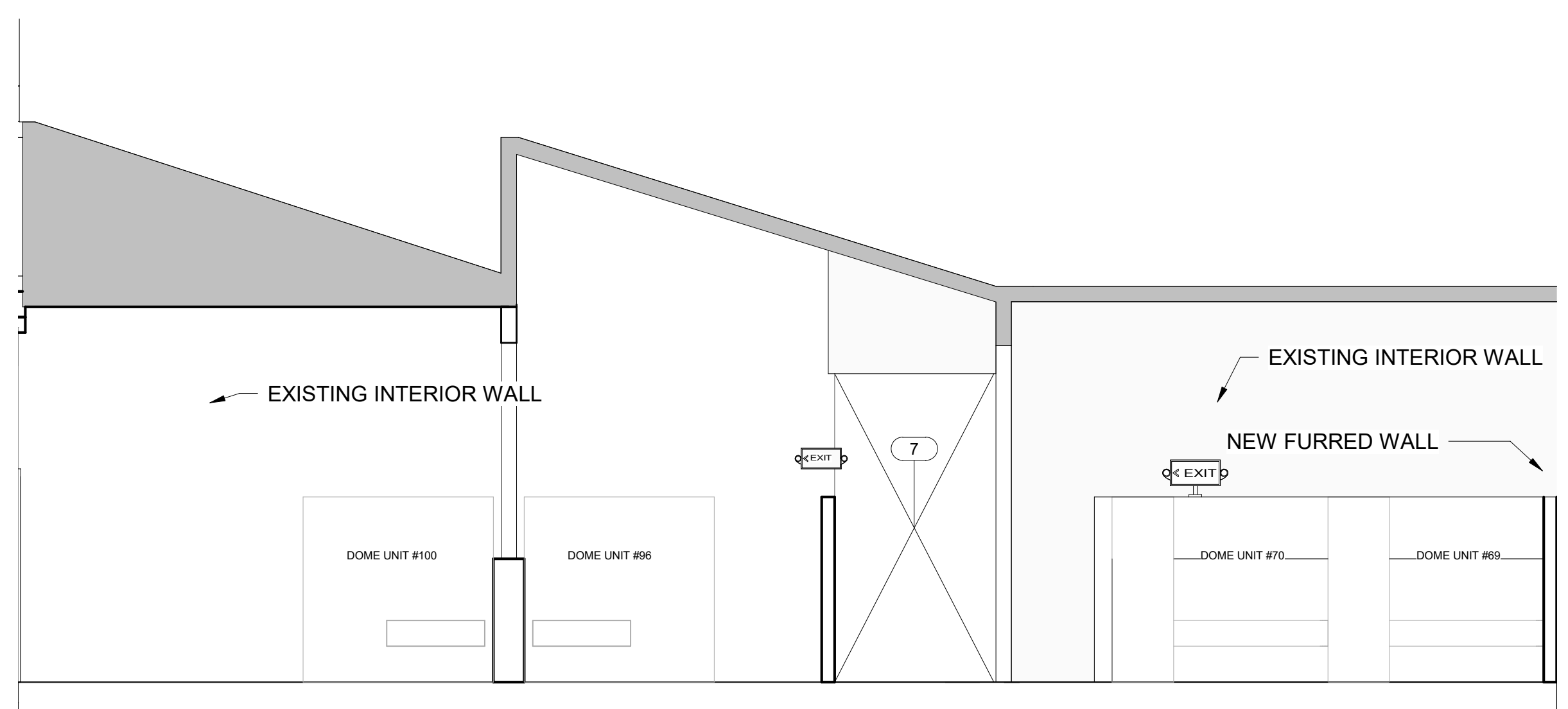
5 MENS DORM #1 - WEST
1/4" = 1'-0"



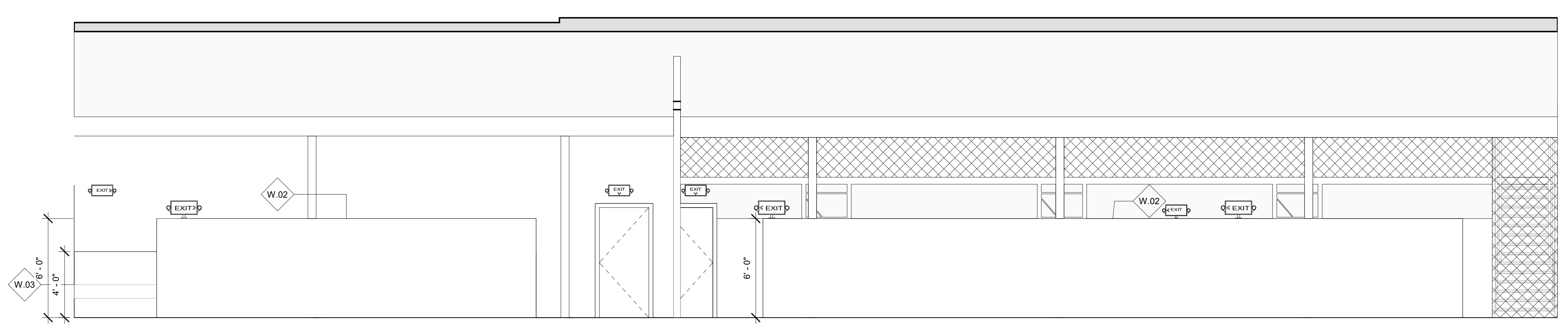
4 MENS DORM #2 - WEST
1/4" = 1'-0"



3 MENS DORM #2 - EAST 2
1/4" = 1'-0"



2 MENS DORM#2 - EAST 1
1/4" = 1'-0"



1 MENS DORM#2 - NORTH
1/4" = 1'-0"

CLIENT 1

CLIENT 2

REPRESENTATIVE

ARCHITECT 1

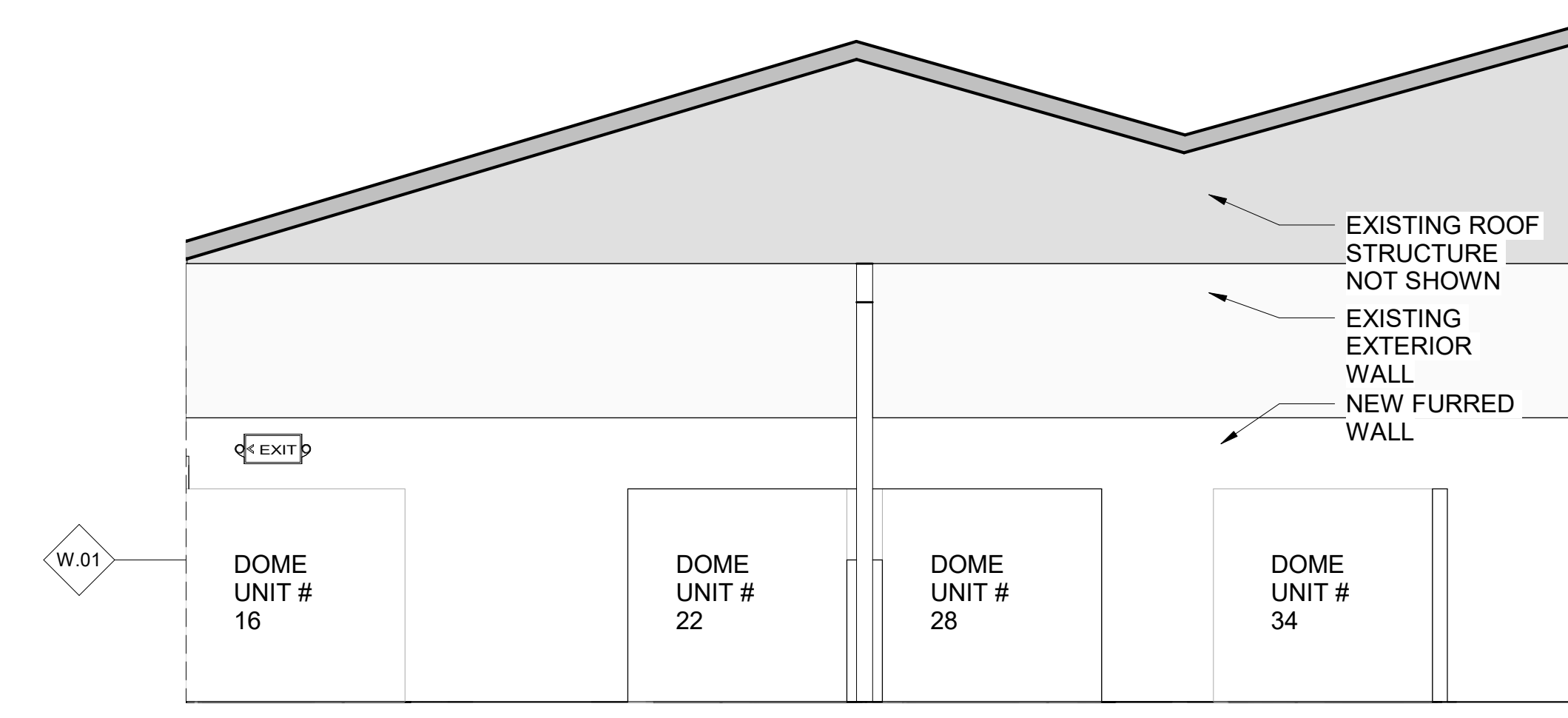
ANDERSON BARKER ARCHITECTS
ARCHITECTURE

CITY DESIGN STUDIO
ARCHITECTURE

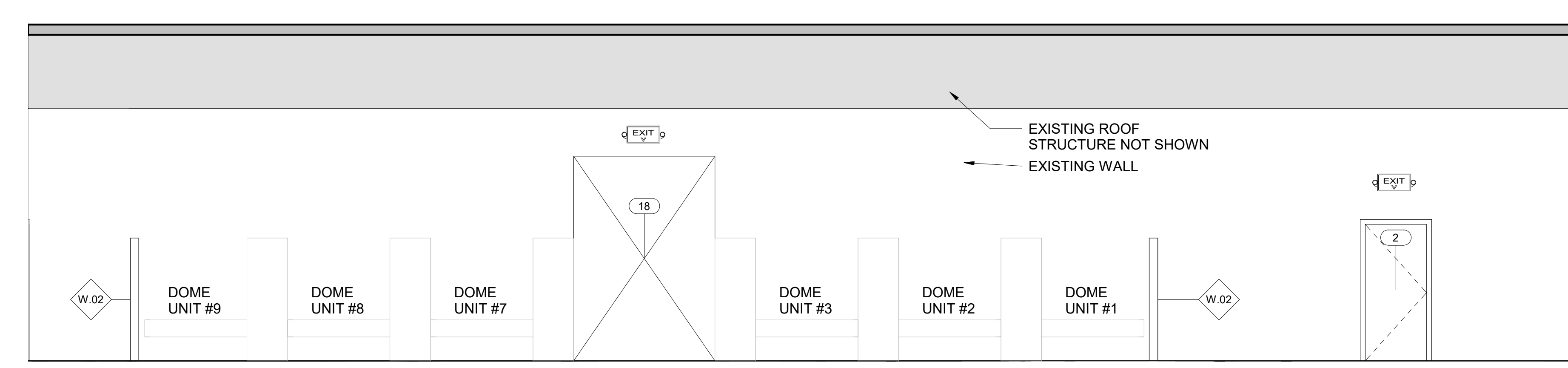
SECONDARY DESIGNERS

ENGINEER 1

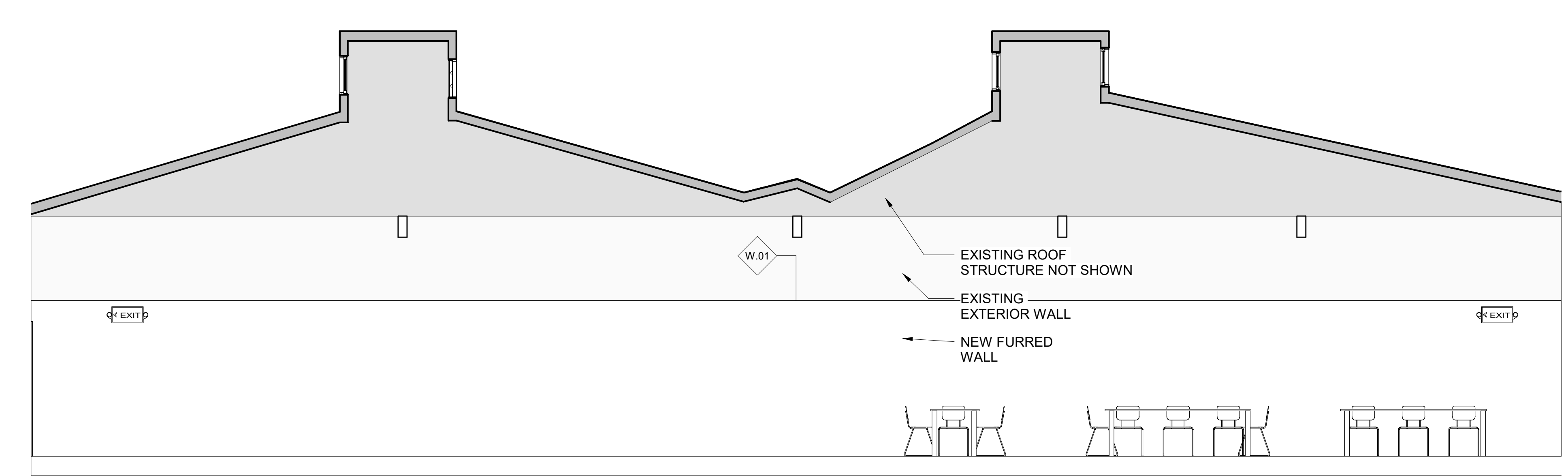
ENGINEER 2



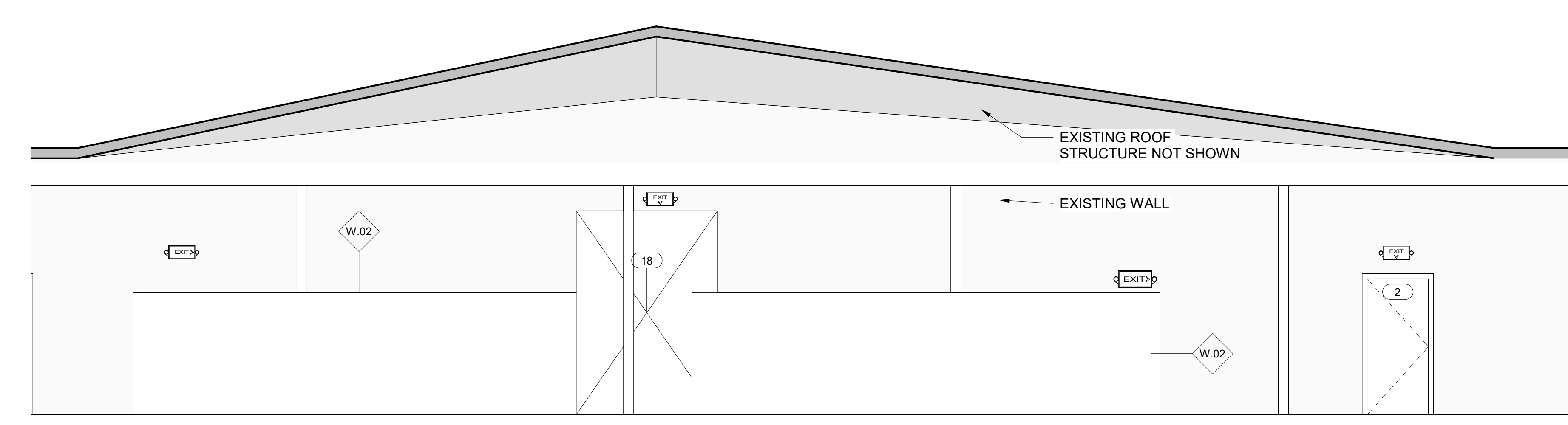
4 WOMEN'S DORM #2 - SOUTH
1/4" = 1'-0"



3 WOMEN'S DORM #2 - EAST
1/4" = 1'-0"

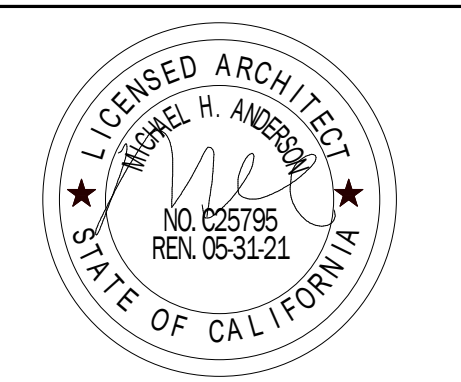


2 COMMON AREA - SOUTH
1/4" = 1'-0"



1 COMMON AREA - EAST
1/4" = 1'-0"

REGISTRATION



Each Construction Issue prepared by the Architect describes a portion of the Work required for the total Project. Each Construction Issue may contain one or more Bid Packages or Work Categories as defined by the Owner. A Construction Issue may modify a previously issued document & when issued, supersedes all previous Construction Issues & Modification Documents containing the same document. Individual Construction Issues by their nature are partial Contract Documents & based in part on preliminary or otherwise incomplete information. It is the Contractor's responsibility to augment each Construction Issue using techniques, including unit pricing, allowances, & alternates, to provide a complete scope of work. Due to the refinement & detailing necessary from time to time in order to develop the final Contract Documents, the Contractor shall review all Construction Issues & coordinate the information given in subsequent Construction Issues with that given in earlier Construction Issues.

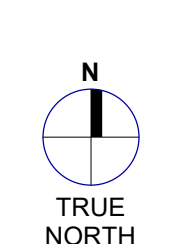
ATTORNEY - CLIENT PRIVILEGED
CONFIDENTIAL COMMUNICATION

CONSTRUCTION
DOCUMENTS

ISSUE / REVISION

IR	DATE	CD %	DESCRIPTION
1	05/13/21	CD %75	

KEY PLAN



PROJECT NUMBER

SHEET TITLE

INTERIOR ELEVATIONS

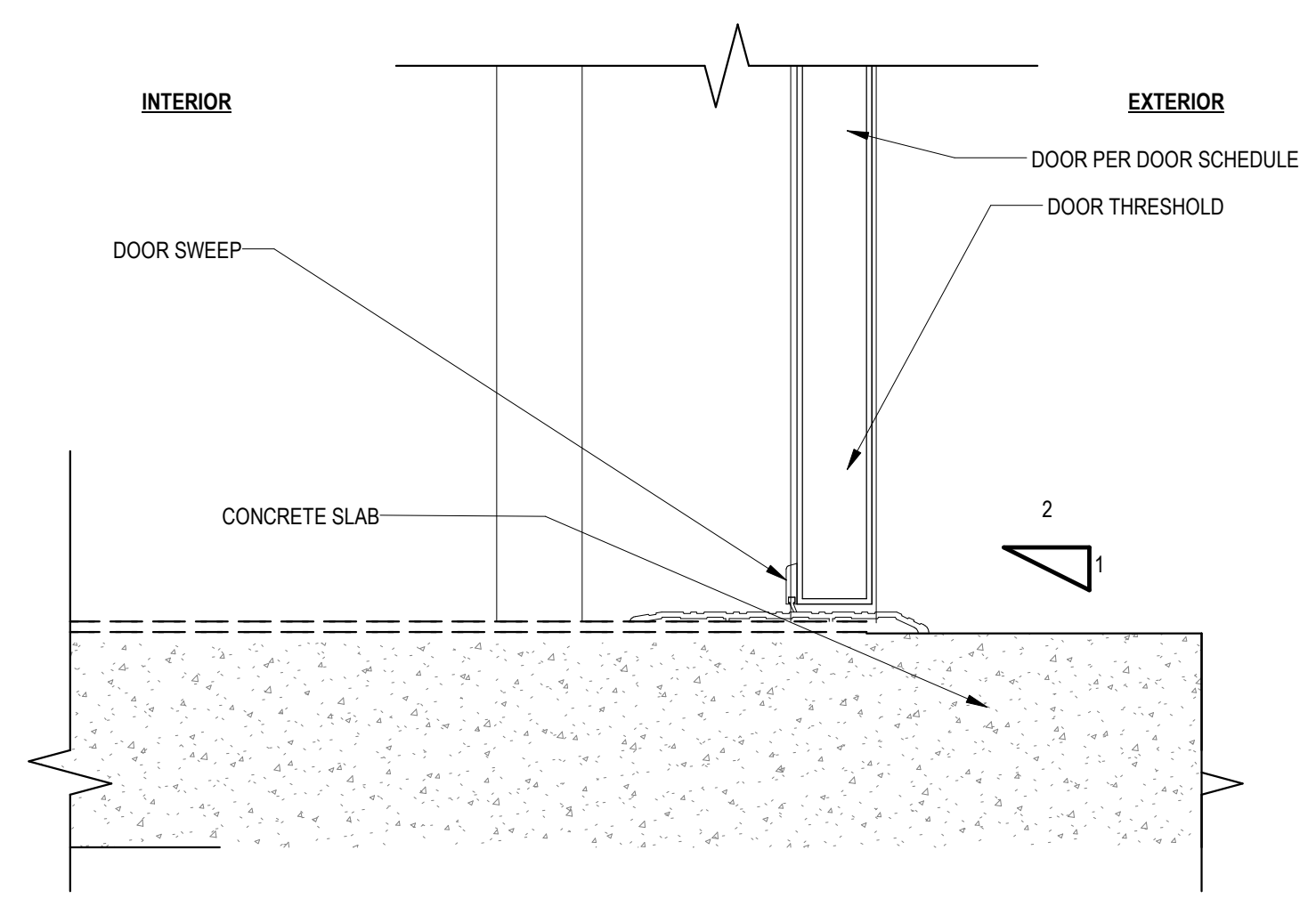
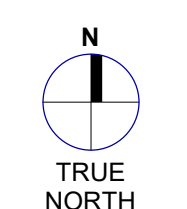
SHEET NUMBER

A008

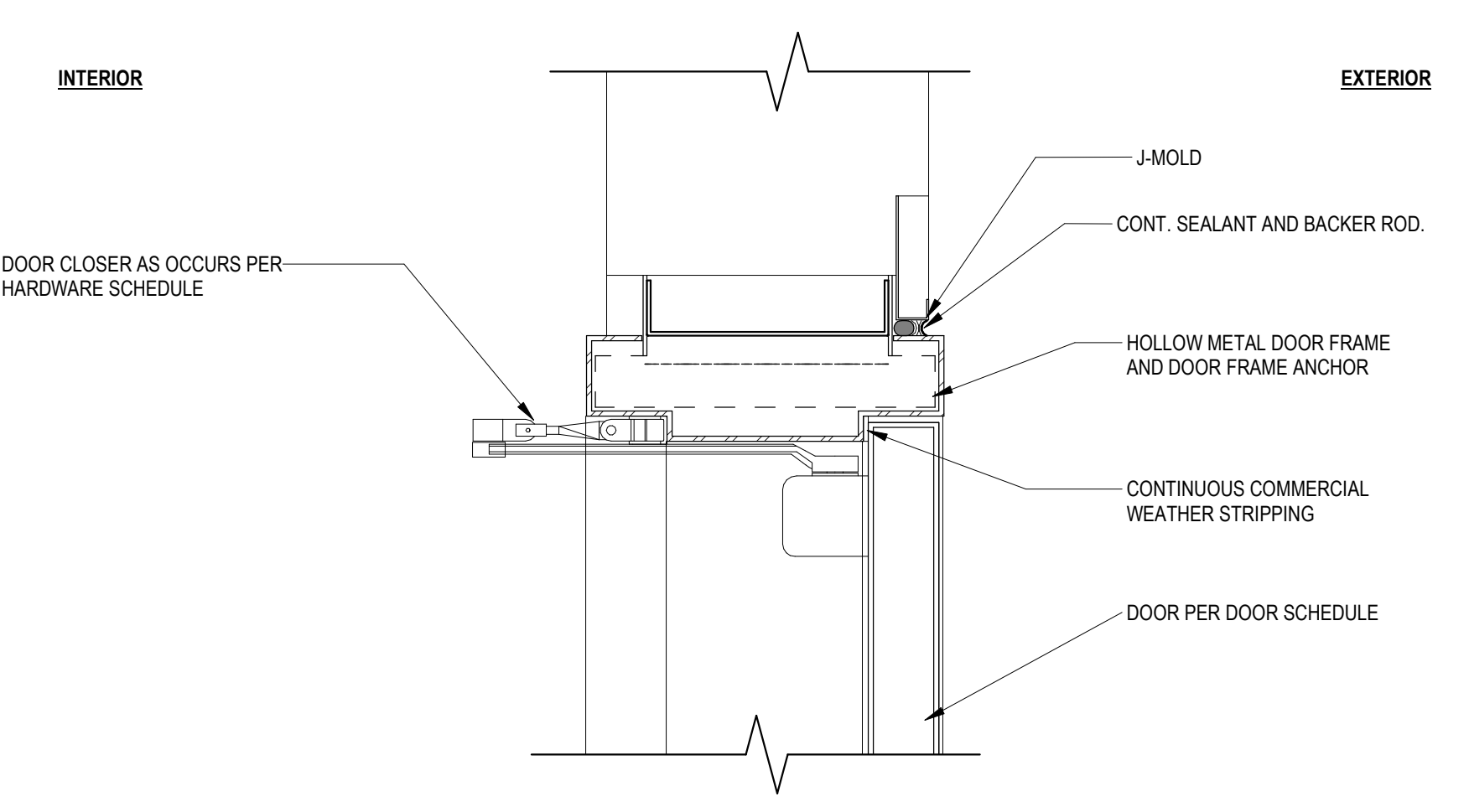


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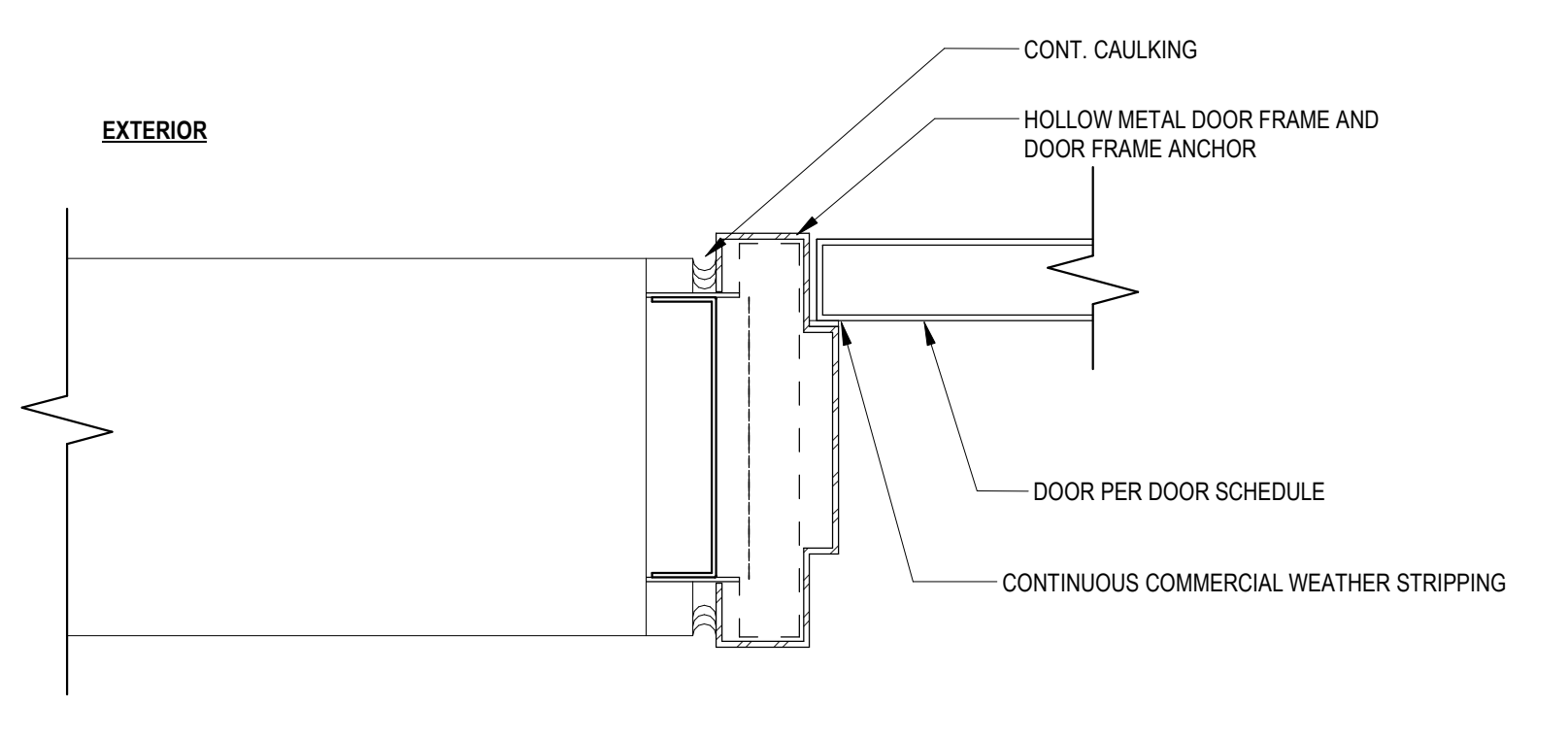
NO.	DATE	CD %/5	DESCRIPTION
1	05/13/21	CD %/5	



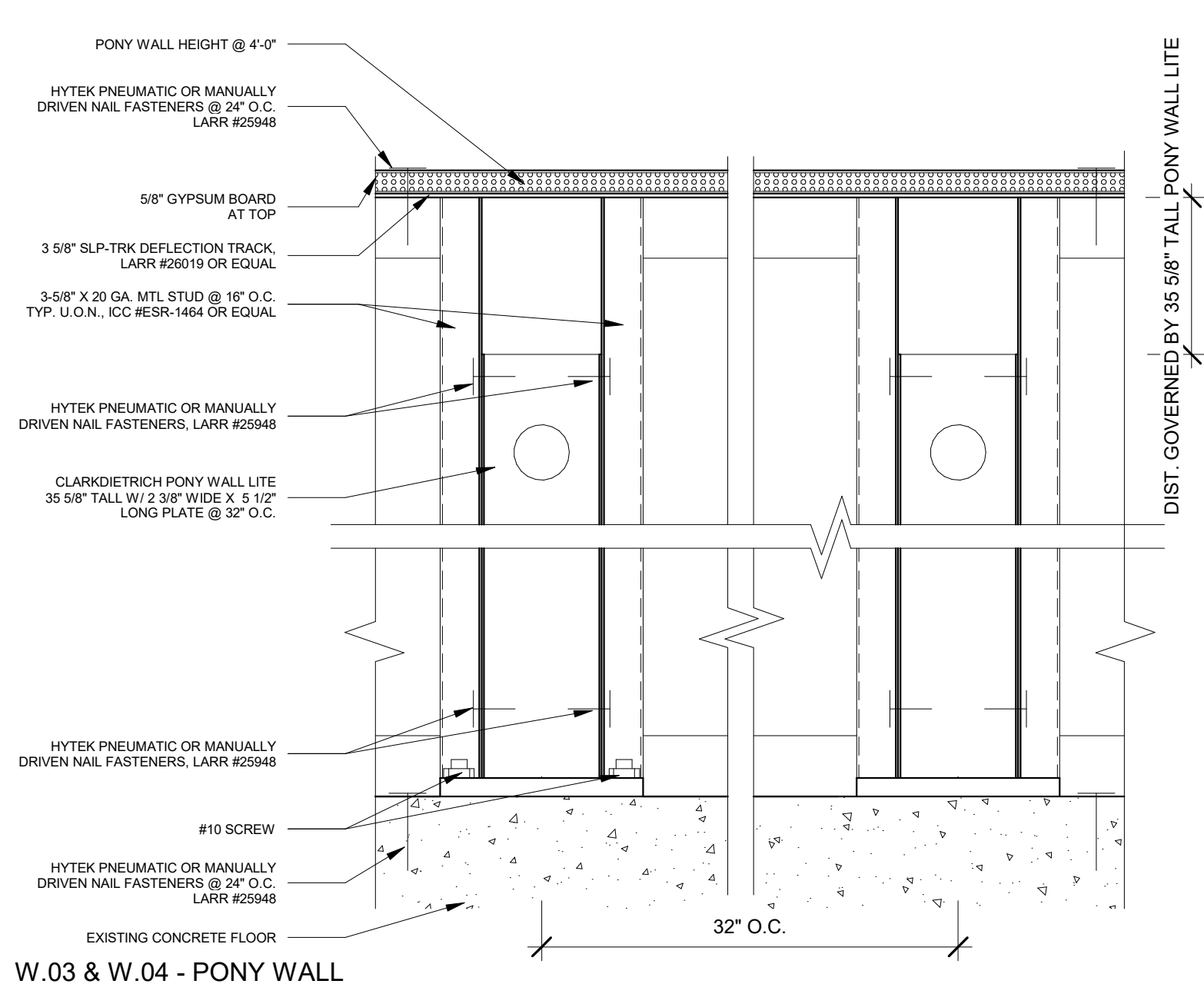
4 HOLLOW METAL DOOR SILL
3" = 1'-0"



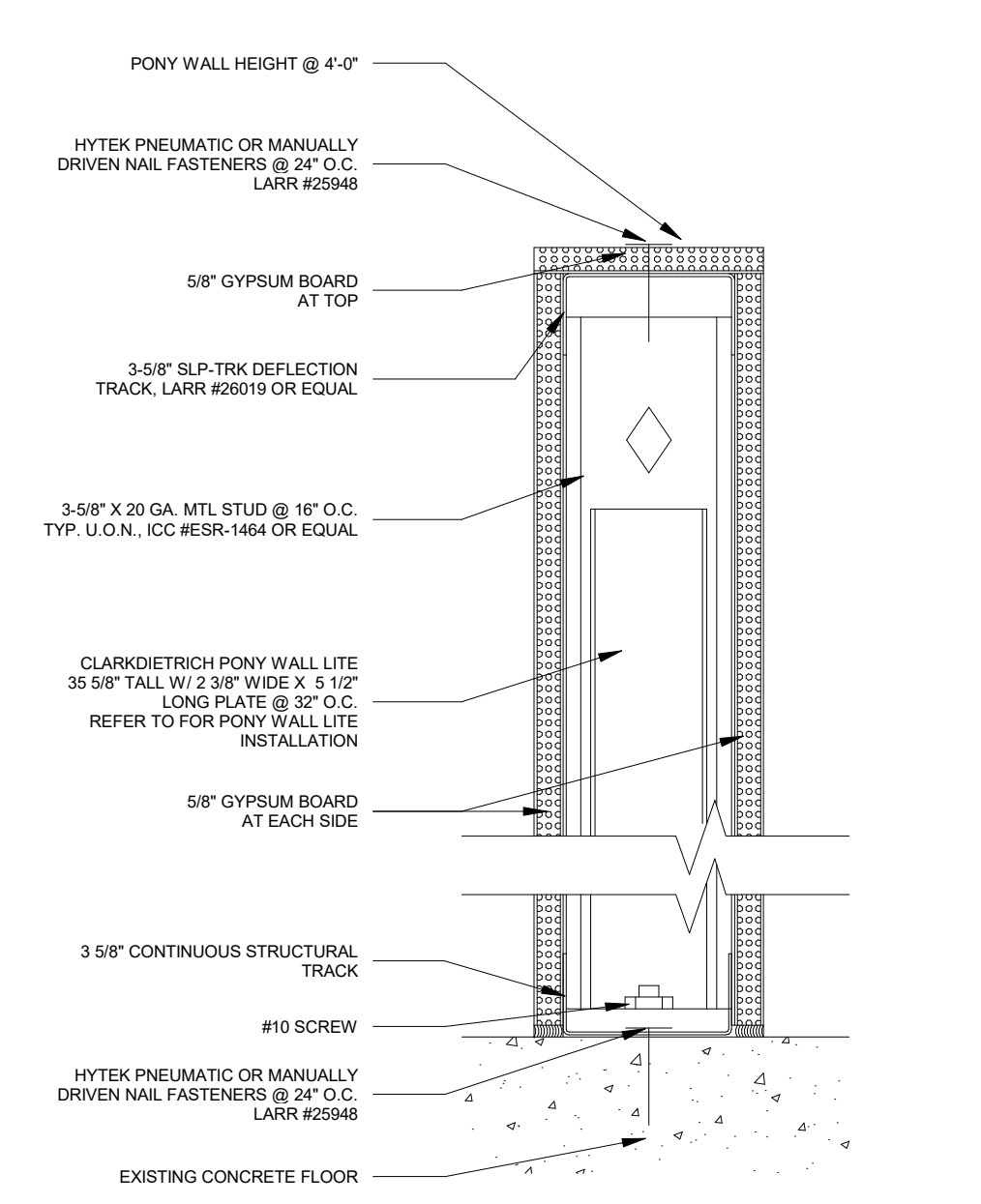
3 HOLLOW METAL DOOR HEADER
3" = 1'-0"



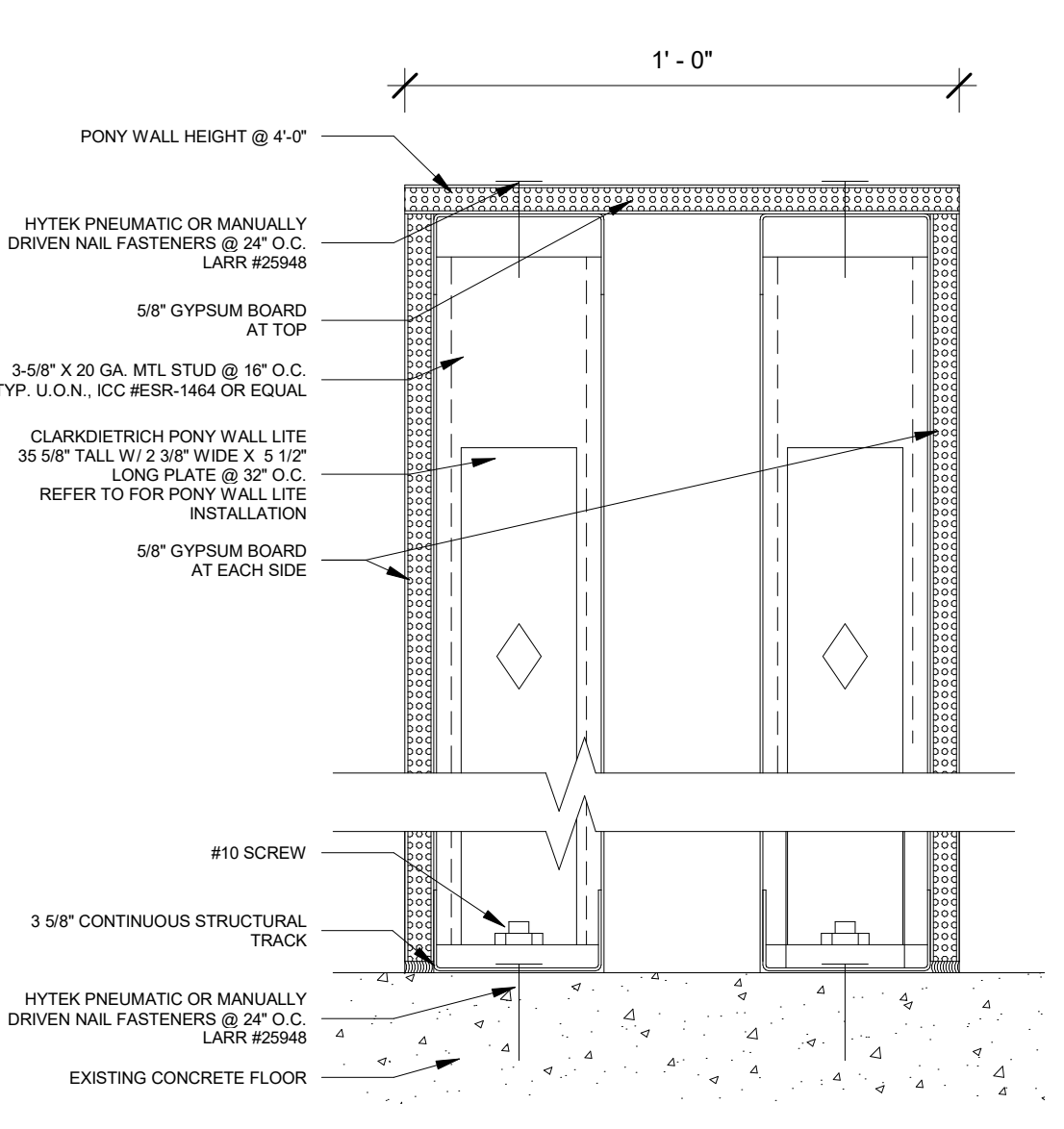
2 HOLLOW METAL DOOR JAMB
3" = 1'-0"



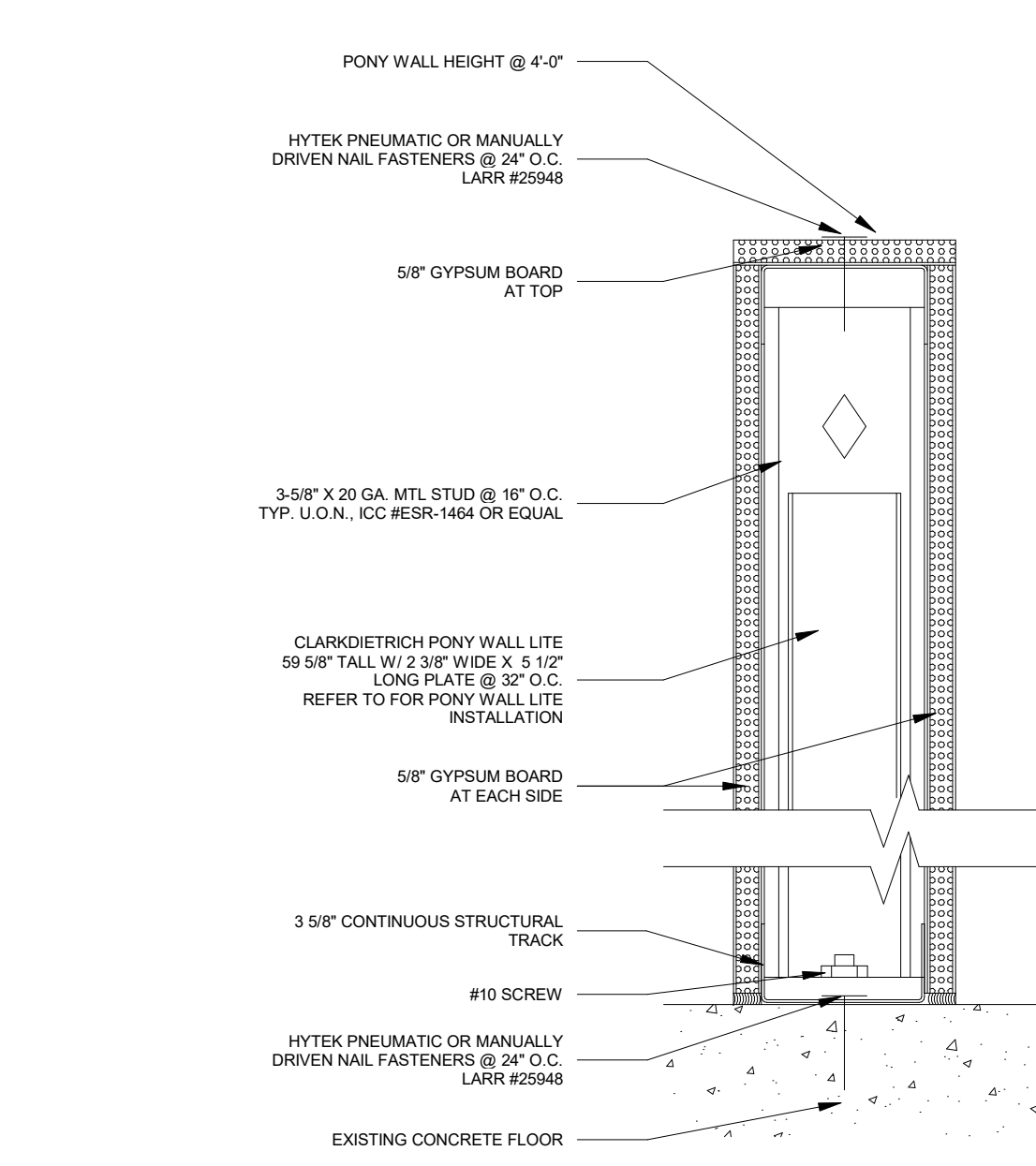
8 W.03 & W.04 - PONY WALL
INSTALLATION
3" = 1'-0"



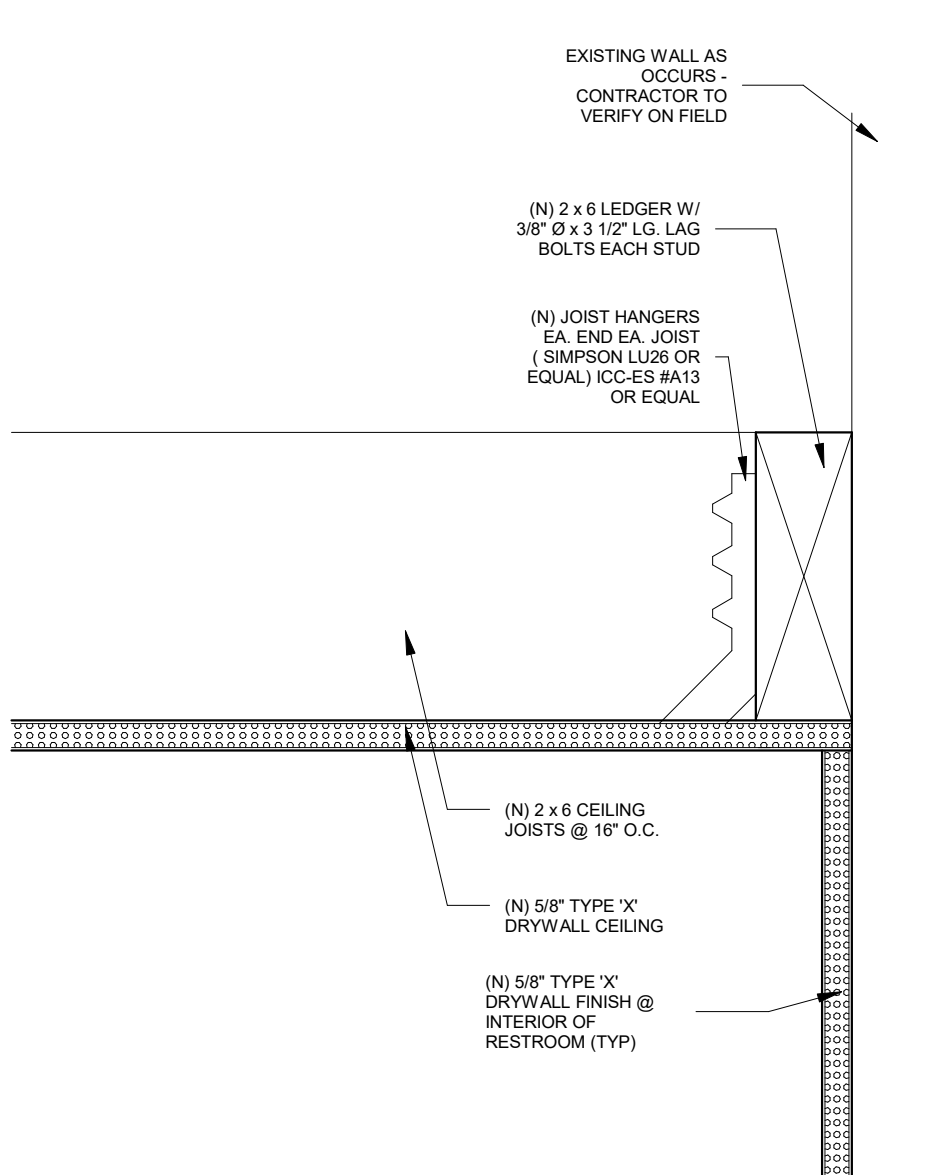
7 W.04 - PONY WALL 5' @ 4'
3" = 1'-0"



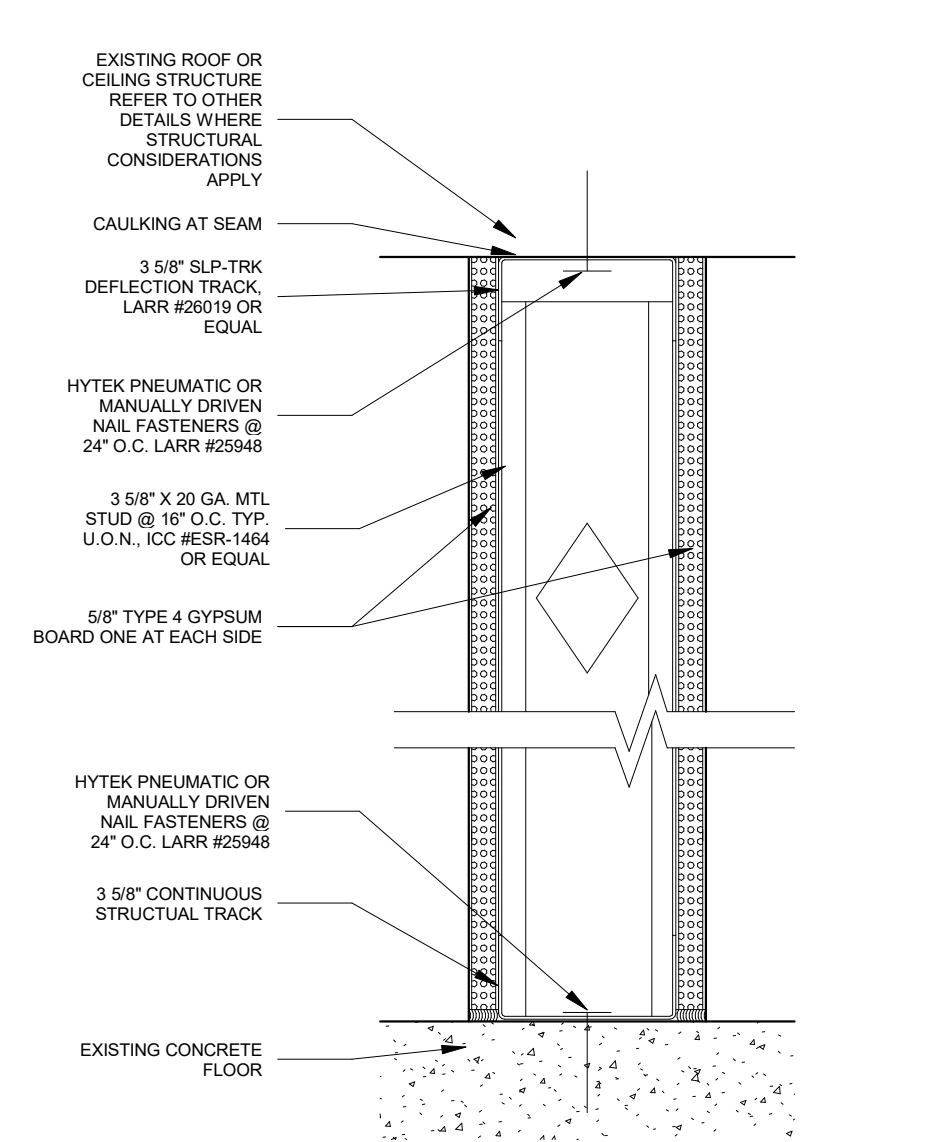
6 W.03 - PONY WALL 1' @ 4'
3" = 1'-0"



5 W.02 - PONY WALL 5' @ 6'
3" = 1'-0"



10 RESTROOM GYPSUM BOARD CEILING
3" = 1'-0"



9 W.05
3" = 1'-0"

CLIENT 1

CLIENT 2

REPRESENTATIVE

ARCHITECT 1

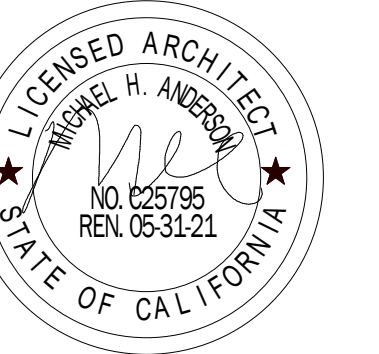
ANDERSON BARKER ARCHITECTS
ARCHITECTURECITY DESIGN STUDIO
ARCHITECTURE

SECONDARY DESIGNERS

ENGINEER 1

ENGINEER 2

REGISTRATION



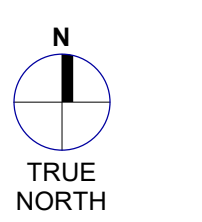
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ATTORNEY - CLIENT PRIVILEGED
CONFIDENTIAL COMMUNICATIONCONSTRUCTION
DOCUMENTS

ISSUE / REVISION

ISSUE / REVISION	DATE	DESCRIPTION
1	05/13/21	CD %75
UR	DATE	DESCRIPTION

KEY PLAN



PROJECT NUMBER

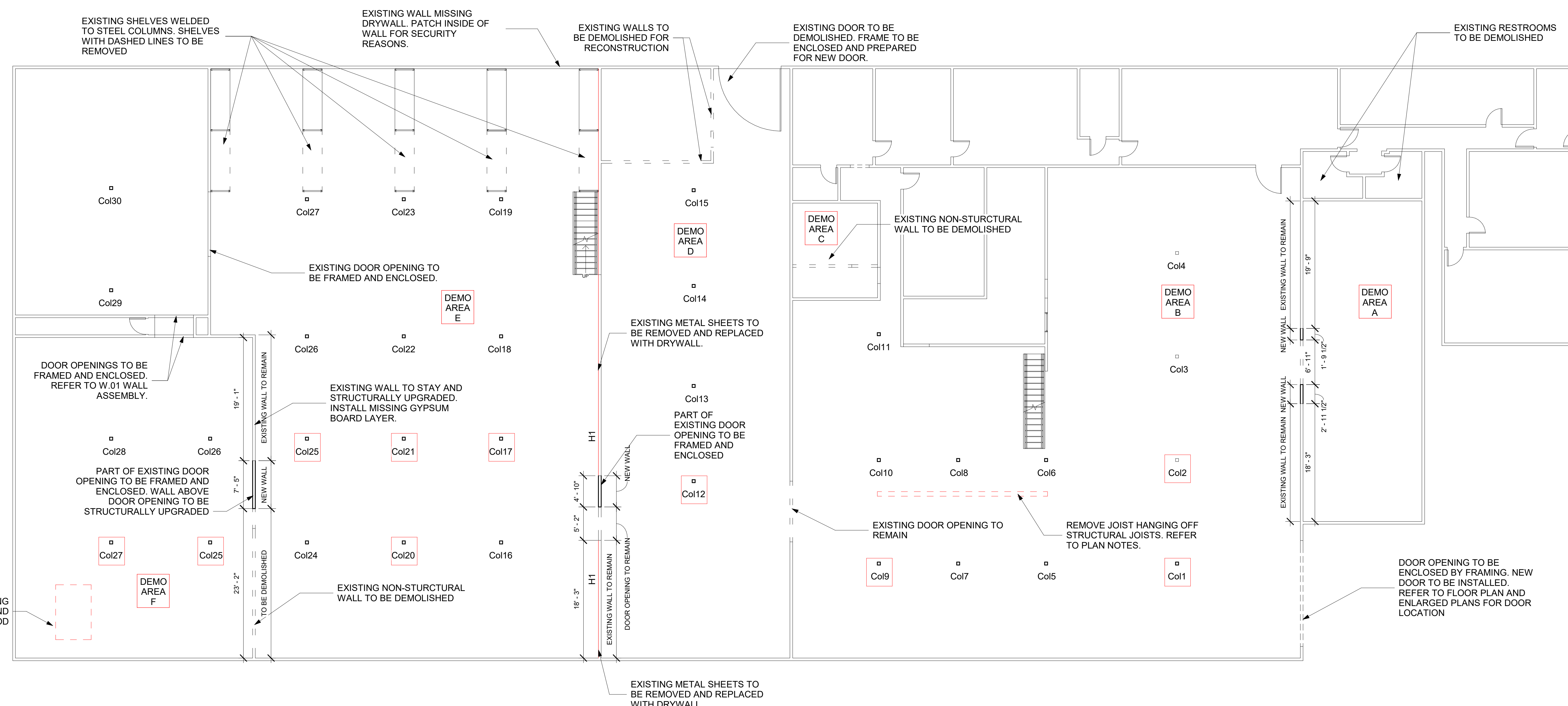
Project Number

SHEET TITLE

DEMO PLAN

SHEET NUMBER

A010

1 DEMO PLAN
1/8" = 1'-0"

SCOPE OF WORK - GENERAL

- ALL WALLS, COLUMNS, FLOOR, ROOF STRUCTURE, ROOF COVERINGS, CEILINGS, MEZZANINE LEVEL SLABS AND OTHER ARCHITECTURAL AND STRUCTURAL COMPONENTS TO BE ASSESSED BY THE RECORD OF ENGINEER, WHO SHALL INFORM THE CONTRACTOR OF ALL STRUCTURAL LIABILITIES AND NEEDED UPGRADES PRIOR TO ANY CONSTRUCTION WORK.
- DEMOLITION AND UPGRADE WORKS REQUIRED BY THIS DEMO PLAN ARE NOT LIMITING TO THE DEMOLITION WORK TO THE SITE. INPUT FROM STRUCTURAL ENGINEER TO BE ADDED TO DEMOLITION AND UPGRADE WORK OUTLINED IN THIS PLAN.
- ALL GARBAGE AND RUBBISH TO BE DEPOSITED IN APPROVED COVERED RECEPTACLES, WHICH SHALL BE EMPTIED WHEN FILLED AND THE CONTENTS TO BE DISPOSED OF IN A SANITARY MANNER.
- ALL WALLS, COLUMNS, FLOOR, ROOF STRUCTURE, ROOF COVERINGS, CEILINGS, MEZZANINE LEVEL SLABS AND OTHER ARCHITECTURAL AND STRUCTURAL COMPONENTS TO BE INSPECTED BY DEPUTY INSPECTOR.
- AT THE TIME OF THE ISSUANCE, THE COVID-19 PANDEMIC IMPOSES LIFE-THREATENING IMPACTS EXACERBATED BY HOMELESSNESS. SECTION 91.8605.3 OF DIVISION 86 OF ARTICLE 1 OF CHAPTER 1X OF THE LOS ANGELES MUNICIPAL CODE IS INVOKED AS AN URGENCY CLAUSE.
- ALL STRUCTURAL COLUMNS SHOWN ON DEMO PLAN TO BE REPAIRED AND REPLACED AS NECESSARY. FURTHER ASSESSMENT OF STRUCTURAL INTEGRITY OF ALL COLUMNS IN BUILDING REQUIRED BY STRUCTURAL ENGINEER OF RECORD PRIOR TO ANY CONSTRUCTION WORK.
- ALL DOOR OPENINGS TO BE FRAMED WITH W.01 OR W.06 WALL ASSEMBLY OR EQUAL.
- CONTRACTOR TO VERIFY ON FIELD WHETHER WALLS DESIGNATED FOR DEMOLITION ON PLAN ARE NON-STRUCTURAL WALLS.
- CONTRACTOR TO REMOVE BUILDING COMPONENTS UNNECESSARY TO THE ARCHITECTURAL, MECHANICAL, ELECTRIC AND PLUMBING FACILITIES, INCLUDING BUT NOT LIMITED TO LOOSE CABLES, TAPES, PIPES.
- ALL EXISTING ROOF STRUCTURE TO BE PAINTED WITH FINISH SPECIFICATION FOR CEILINGS IN CORRESPONDING ROOMS.
- DO NOT DISTURB ANY STRUCTURAL BUILDING COMPONENTS, UNLESS STRUCTURAL COMPONENT POSES A HAZARD AND REQUIRES STRUCTURAL UPGRADES AND IMPROVEMENTS.
- PREPARE EXISTING CONCRETE SLAB FOR NEW FINISH.
- REFER TO MECH. DRAWINGS FOR REMOVAL OF EXISTING MECHANICAL EQUIPMENTS.
- REMOVE ALL ABANDONED ANCHORS AND SIMILAR ITEMS FROM CEILING, WALLS AND FLOORS CONTRACTOR TO MEET THE REQUIREMENTS FOR RECYCLING DEMOLITION ACCORDING TO CALIFORNIA GREEN BUILDING STANDARDS CODE CONSTRUCTION AND DEMOLITION (C&D) REQUIREMENTS OR LOCAL C&D ORDINANCE OF THE CITY OF LOS ANGELES.
- ALL ELECTRICAL COMPONENTS TO BE REMOVED, INCLUDING BUT NOT LIMITED TO: FIXTURES, CABLES, WIRES, SWITCHES AND PANELS. REFER TO ELECTRICAL SET FOR NEW ELECTRICAL CONSTRUCTION.
- ALL WALLS, FLOORS AND CEILING TO BE SANDBLASTED TO REMOVE PREVIOUS PAINT AND OTHER SURFACE IMPURITIES.
- ALL EXISTING BUILDING COMPONENTS THAT HAVE DETERIORATED TO A POINT WHERE IT CAN POSE A HAZARD TO OCCUPANTS TO BE REMOVED AND REPLACED. HAZARDOUS BUILDING COMPONENTS INCLUDE UNPROTECTED ELECTRICAL CABLES, PEELED AND UNSECURED METAL SHEETS.
- ABOVE PLAN ANNOTATED WITH EXISTING LOCATIONS WITH HAZARDOUS CONDITIONS.
- STRUCTURAL UPGRADES TO BE CONSULTED TO A LICENSED STRUCTURAL ENGINEER AND BE FOLLOWED IN ADDITION TO THIS DEMO PLAN.
- ALL DOOR OPENINGS THAT HAVE BEEN ANNOTATED FOR ADJUSTMENTS TO BE FRAMED AND ENCLOSED WITH FURRING AND WOOD STUDS. REFER TO DETAILS.
- ALL ROOF PARTS THAT NEED REPAIR TO BE PATCHED AND UPGRADED. ALL EXISTING INTERIOR FINISH ON ROOFS TO BE REPAIRED WHERE NEEDED.
- ALL STRUCTURAL UPGRADES TO BE COMPLETED IN COMPLIANCE TO LA CITY GUIDELINES, INSPECTOR FEEDBACK AND LADBS STANDARDS.
- EXISTING BATHROOMS TO BE DISMANTLED.
- REMOVE ALL ELECTRICAL, PLUMBING AND MECHANICAL FIXTURES THAT POSE A HAZARD TO OCCUPANTS.
- ALL WALLS THAT HAVE BEEN ANNOTATED FOR NEW GYPSUM BOARD INSTALLATION TO BE STRUCTURALLY ASSESSED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO GYPSUM BOARD INSTALLATION. NO WEIGHT SHOULD BE ADDED TO THE ROOF SUPPORTING STRUCTURE WITHOUT ANALYSIS AND APPROVAL BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA.

SCOPE OF WORK - DESIGNATED DEMO AREAS

- DEMO AREA A**
- REMOVE LIGHT FIXTURES, SWITCHES, CABLES, CABLE PROTECTORS, PANELS AND OUTLET LOCATIONS ON WALLS, FLOOR AND CEILING.
 - REMOVE HEATER FROM CEILING.
 - REMOVE PIPE FROM CONCRETE SLAB. PATCH THE HOLE AROUND THE PIPE IN THE CONCRETE SLAB.
 - REMOVE SECURITY CAMERA.
 - REMOVE ALL FIRE EXTINGUISHER SIGNS.
 - STORE ABANDONED FIRE EXTINGUISHERS, FIRE EXTINGUISHER AND SIGN PLACEMENTS TO BE CONSULTED TO THE LOS ANGELES FIRE DEPARTMENT.
 - EVEN OUT CONCRETE FLOOR. PATCH HOLES. REPAIR LEVEL DIFFERENCES.
 - REMOVE METAL SHEETS ON FLOOR. PATCH HOLES UNDERNEATH METAL SHEETS.
 - REPAIR WALL BASE WHERE DAMAGED.
 - IF EXISTING WALL FINISH IS PLASTER, REPAIR PLASTER IN PARTS WHERE DAMAGE HAS OCCURRED.
- DEMO AREA B**
- REPAIR ROOF AND ROOF STRUCTURE WHERE DAMAGED. PATCH HOLES IN ROOF. UPGRADE STRUCTURE WHERE DETERIORATED. UPGRADES TO BE COMPLETED IN COMPLIANCE WITH LADBS GUIDELINES AND/OR A LICENSED STRUCTURAL ENGINEER.
 - REMOVE ALL LIGHT FIXTURES, SWITCHES, CABLES, CABLE PROTECTORS, PANELS AND OUTLET LOCATIONS ON WALLS, FLOOR AND CEILING.
 - REMOVE SECURITY CAMERAS.
 - REMOVE ALL PLUMBING FIXTURES THAT ARE NOT CONNECTED TO MAIN PLUMBING.
 - PATCH OR REPAIR DRYWALL WHERE DAMAGED.
 - PATCH, REPAIR OR REPLACE WALL BASES WHERE DAMAGED OR MISSING.
 - REMOVE ALL INDUSTRIAL PARAPHERNALIA ON WALLS, FLOOR, COLUMNS AND ROOF STRUCTURE. PATCH, REPAIR OR REPLACE INSTANCES IN WHICH INDUSTRIAL PARAPHERNALIA HAS CAUSED DAMAGE TO THE WALLS, FLOOR AND ROOF STRUCTURE.
 - REMOVE ALL FIRE EXTINGUISHER SIGNS.
 - STORE ABANDONED FIRE EXTINGUISHERS, FIRE EXTINGUISHER AND SIGN PLACEMENTS TO BE CONSULTED TO THE LOS ANGELES FIRE DEPARTMENT.
 - REPAIR OR REPLACE ALL DAMAGED OR STRUCTURALLY UNLiable COLUMNS. SUCH COLUMNS INCLUDE BUT ARE NOT LIMITED TO THE COLUMNS THAT HAVE BEEN HIGHLIGHTED IN ABOVE PLAN. STRUCTURAL REVISIONS OF COLUMNS TO BE MADE BY A LICENSED STRUCTURAL ENGINEER.
 - REMOVE METAL FENCE UNDER THE MEZZANINE.
 - REMOVE ALL FLOOR COMPONENTS NOT BELONGING TO THE EXISTING CONCRETE FLOOR.
 - PATCH AND REPAIR DAMAGED AND UNLEVELED PARTS OF CONCRETE SLAB WHERE APPLICABLE.
 - REMOVE NON-STRUCTURAL JOIST HANGING FROM STRUCTURAL JOISTS WITH A HANGER TIE. JOIST LOCATION NOTED ON ABOVE PLAN.
 - IF EXISTING WALL FINISH IS PLASTER, REPAIR PLASTER IN PARTS WHERE DAMAGE HAS OCCURRED.
- DEMO AREA C**
- DEMOLISH WALL DIVIDING TWO EXISTING ROOMS. WALL LOCATION NOTED ON PLAN.
 - SANDBLAST EXISTING FLOOR AND WALLS TO REMOVE PAINT AND OTHER IMPURITIES.
 - PATH, REPAIR OR REPLACE PARTS OF EXISTING DRYWALL. REPAIR WALL BASES WHERE DAMAGED.
 - REMOVE ALL LIGHT FIXTURES, SWITCHES, CABLES, CABLE PROTECTORS, PANELS AND OUTLET LOCATIONS ON WALLS, FLOOR AND CEILING.
 - IF EXISTING WALL FINISH IS PLASTER, REPAIR PLASTER IN PARTS WHERE DAMAGE HAS OCCURRED.
- DEMO AREA D**
- REMOVE LIGHT FIXTURES, SWITCHES, CABLES, CABLE PROTECTORS, PANELS AND

- OUTLET LOCATIONS ON WALLS, FLOOR AND CEILING. ELECTRIC PANELS CAN STAY IF THEY ARE IN THE BOUNDARIES OF THE NEW ELECTRIC ROOM.
- SANDBLAST EXISTING FLOOR AND WALLS TO REMOVE PAINT AND OTHER IMPURITIES.
 - REMOVE ALL PLUMBING FIXTURES THAT ARE NOT CONNECTED TO MAIN PLUMBING.
 - REMOVE ALL FIRE EXTINGUISHER SIGNS.
 - STORE ABANDONED FIRE EXTINGUISHERS, FIRE EXTINGUISHER AND SIGN PLACEMENTS TO BE CONSULTED TO THE LOS ANGELES FIRE DEPARTMENT.
 - REPAIR OR REPLACE ALL DAMAGED OR STRUCTURALLY UNLiable COLUMNS. SUCH COLUMNS INCLUDE BUT ARE NOT LIMITED TO THE COLUMNS THAT HAVE BEEN HIGHLIGHTED IN ABOVE PLAN. STRUCTURAL REVISIONS OF COLUMNS TO BE MADE BY A LICENSED STRUCTURAL ENGINEER.
 - EVEN OUT CONCRETE FLOOR. PATCH HOLES. REPAIR LEVEL DIFFERENCES. REMOVE METAL SHEETS ON FLOOR. PATCH HOLES UNDERNEATH METAL SHEETS.
 - IF EXISTING WALL FINISH IS PLASTER, REPAIR PLASTER IN PARTS WHERE DAMAGE HAS OCCURRED.
 - REPAIR DAMAGE AROUND DOOR OPENINGS.
 - REFER TO DOOR OPENING ANNOTATED IN PLAN ABOVE. FRAME AND ENCLOSE ACCORDING TO PROVIDED DIMENSIONS.
 - REMOVE EXISTING INDUSTRIAL PARAPHERNALIA ON CEILING, WALLS AND FLOORS.
 - REMOVE DOOR TRACK AND METAL FENCE DOOR.
 - REMOVE EXISTING EXTERIOR DOOR. FRAME AND ENCLOSE TO PREPARE FOR NEW EXTERIOR DOOR.
 - CONTRACTOR TO VERIFY CONDITION OF EXISTING SKYLIGHTS. REPAIR OR REPLACE IF DAMAGED OR STRUCTURALLY UNRELIABLE.
- DEMO AREA E**
- REMOVE LIGHT FIXTURES, SWITCHES, CABLES, CABLE PROTECTORS, PANELS AND OUTLET LOCATIONS ON WALLS, FLOOR AND CEILING. ELECTRIC PANELS CAN STAY IF THEY ARE IN THE BOUNDARIES OF THE NEW ELECTRIC ROOM.
 - SANDBLAST EXISTING FLOOR AND WALLS TO REMOVE PAINT AND OTHER IMPURITIES.
 - PATH, REPAIR OR REPLACE PARTS OF EXISTING DRYWALL. REPAIR WALL BASES WHERE DAMAGED.
 - IF EXISTING WALL FINISH IS PLASTER, REPAIR PLASTER IN PARTS WHERE DAMAGE HAS OCCURRED.
 - REFER TO ABOVE PLAN FOR LOCATION OF HAZARDOUS WALLS. EXISTING WALL IS COVERED IN METAL SHEETS THAT HAVE WARPED AND DEVELOPED SHARP EDGES. REMOVE ALL METAL SHEETS IN ACCORDANCE TO SAFETY GUIDELINES OF LADBS.
 - REPAIR OR REPLACE ALL DAMAGED OR STRUCTURALLY UNLiable COLUMNS. SUCH COLUMNS INCLUDE BUT ARE NOT LIMITED TO THE COLUMNS THAT HAVE BEEN HIGHLIGHTED IN ABOVE PLAN. STRUCTURAL REVISIONS OF COLUMNS TO BE MADE BY A LICENSED STRUCTURAL ENGINEER.
 - EXISTING MEZZANINE SHELVES TO BE REMOVED. REFER TO ABOVE PLAN FOR LOCATION OF SHELVES TO BE REMOVED. CLOSE OFF STAIRCASE TO BLOCK ACCESS DUE TO SAFETY CONCERNS.
 - REPAIR PARTS OF NORTH WALL WITH NO INNER LAYER OF DRYWALL. REPAIR EXTERIOR WALL BASE AND SEAL AGAINST WATER DAMAGE OR DUST TRANSFERRAL FROM SIDEWALK.
 - REMOVE METAL PIPING ON EAST WALL.
 - CONTRACTOR TO SURVEY EXISTING ROOF STRUCTURE FOR DAMAGES AND STRUCTURALLY UNRELIABLE PARTS. REPAIR, REPAIR OR REPLACE PARTS IN COMPLIANCE WITH EVALUATION OF A LICENSED STRUCTURAL ENGINEER.
 - REPAIR INTERIOR WALL BASES WHERE DAMAGED OR MISSING.
 - REMOVE ALL RUBBISH ATTACHED TO ROOF STRUCTURE, WALLS AND FLOOR.
 - EVEN OUT CONCRETE FLOOR. PATCH HOLES. REPAIR LEVEL DIFFERENCES.
 - REMOVE ALL SECURITY CAMERAS.
 - REMOVE ALL PIPING THAT IS NOT CONNECTED TO THE MAIN PLUMBING SYSTEM.
 - CONTRACTOR TO VERIFY CONDITION OF EXISTING SKYLIGHTS. REPLACE AND

- REPAIR ALL DAMAGED WINDOW PANELS. REPAIR WINDOW FRAMES THAT ARE WILL CAUSE FUTURE WATER DAMAGE.
- REMOVE ABANDONED WALLS FROM STRUCTURAL JOISTS.
 - REFER TO ABOVE PLAN FOR EXISTING WALL WITH MISSING GYPSUM BOARD LAYER. CONTRACTOR TO VERIFY STRUCTURAL RELIABILITY OF WALL. IF WALL IS BOUND TO FURTHER DAMAGE UNDER ITS OWN WEIGHT, DEMOLISH WALL AND REPLACE WITH NEW DRYWALL.
 - REPAIR HOLES IN NORTHERN WALL FACING SLAUSON AVENUE ON MEZZANINE LEVEL.
 - DEMOLISH ENCLOSED AREA CONSISTING OF METAL SHEETS ON THE EAST WALL. REPAIR, PATCH AND LEVEL FLOOR IN THIS AREA. CONTRACTOR TO VERIFY EXISTING WALL CONDITION. IF WALL IS NOT STRUCTURALLY RELIABLE TO CARRY ITS OWN WEIGHT, DEMOLISH AND BUILD NEW DRYWALL.
- DEMO AREA F**
- REMOVE LIGHT FIXTURES, SWITCHES, CABLES, CABLE PROTECTORS, PANELS AND OUTLET LOCATIONS ON WALLS, FLOOR AND CEILING. ELECTRIC PANELS CAN STAY IF THEY ARE IN THE BOUNDARIES OF THE NEW ELECTRIC ROOM.
 - SANDBLAST EXISTING FLOOR AND WALLS TO REMOVE PAINT AND OTHER IMPURITIES.
 - PATH, REPAIR OR REPLACE PARTS OF EXISTING DRYWALL. REPAIR WALL BASES WHERE DAMAGED.
 - IF EXISTING WALL FINISH IS PLASTER, REPAIR PLASTER IN PARTS WHERE DAMAGE HAS OCCURRED.

SYMBOLS LEGEND

- NEW WALLS
- EXISTING WALLS TO REMAIN
- NEW ELEMENT
- EXISTING ELEMENT
- WALL TYPE
- DOOR NUMBER
- ROOM SEPARATION
- STRUCTURALLY UNSTABLE COLUMN
- HAZARDOUS ELEMENT
- DEMOLITION AREA
- LOCATION OF SHELVES TO BE REMOVED. REFER TO PLAN NOTES FOR INFORMATION ON DEMOLITION WORK

ARCHITECTURE

CLIENT 1
-
CLIENT 2
-
REPRESENTATIVE
-

ARCHITECT 1
-

ANDERSON BARKER ARCHITECTS
ARCHITECTURE

CITY DESIGN STUDIO
ARCHITECTURE

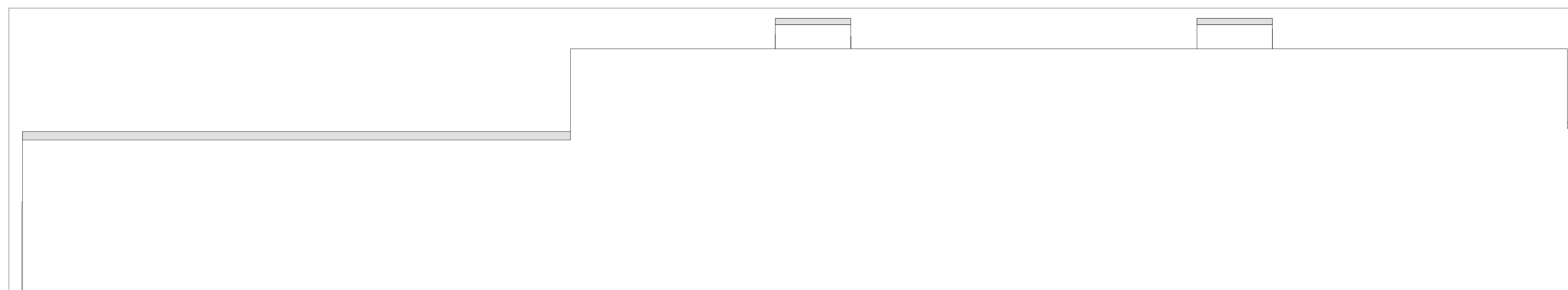
SECONDARY DESIGNERS
-

ENGINEER 1
-

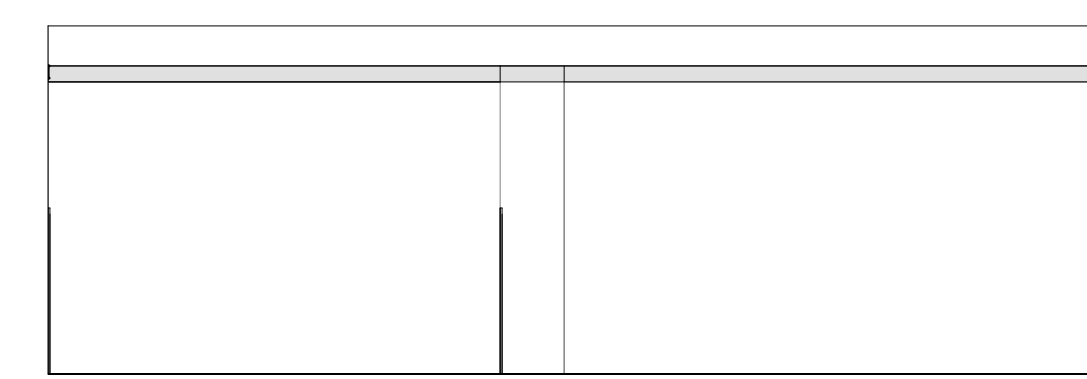
ENGINEER 2
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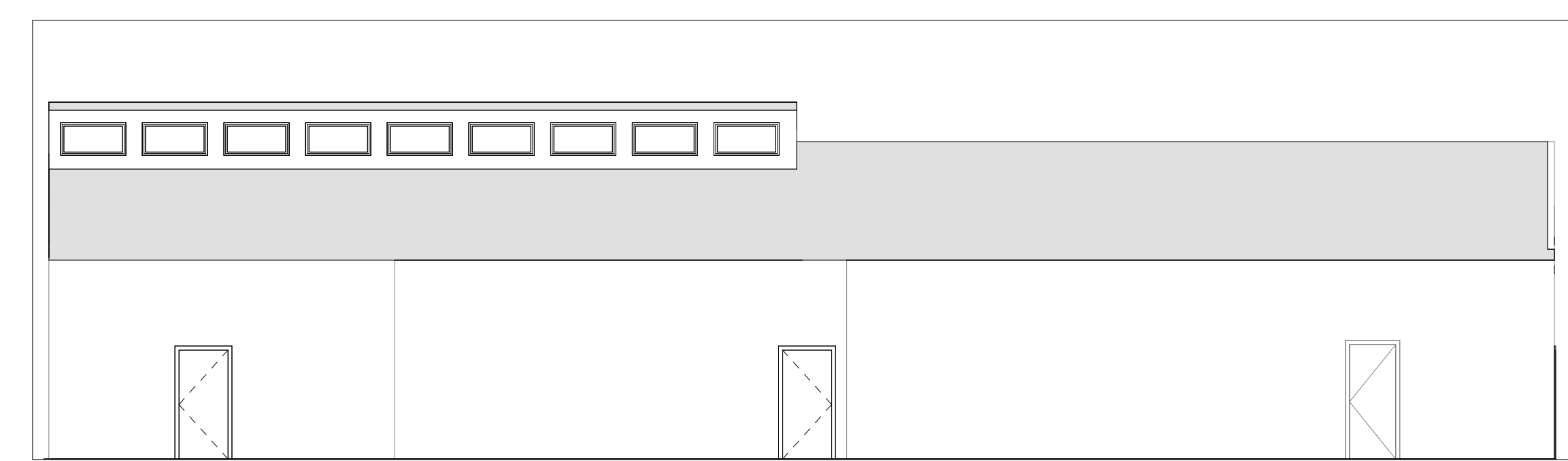
5 SLAUSON ELEVATION - ENLARGED 2
1/4" = 1'-0"



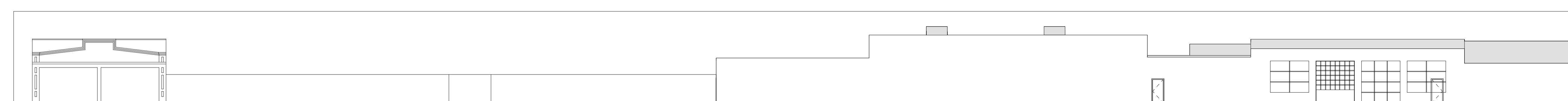
4 SLAUSON ELEVATION - ENLARGED 1
1/4" = 1'-0"



3 YARD ELEVATION 2
1/8" = 1'-0"

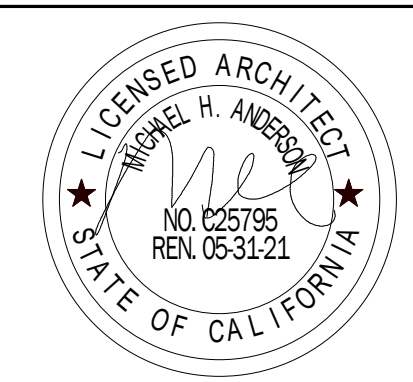


2 YARD ELEVATION 1
1/8" = 1'-0"



1 SLAUSON ELEVATION
1/16" = 1'-0"

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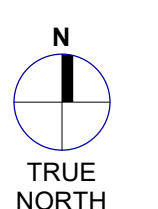
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CONFIDENTIAL COMMUNICATION

CONSTRUCTION
DOCUMENTS

ISSUE / REVISION

IR	DATE	DESCRIPTION

KEY PLAN



PROJECT NUMBER

Project Number

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A011

CLIENT 1
-

CLIENT 2
-

REPRESENTATIVE
-

ARCHITECT 1
-

ANDERSON BARKER ARCHITECTS
ARCHITECTURE

CITY DESIGN STUDIO
ARCHITECTURE

SECONDARY DESIGNERS
-

ENGINEER 1
-

ENGINEER 2
-

REGISTRATION



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CONSTRUCTION DOCUMENTS

ISSUE / REVISION

IR	DATE	CD %/5	DESCRIPTION
1	05/13/21	CD %/5	

KEY PLAN



PROJECT NUMBER

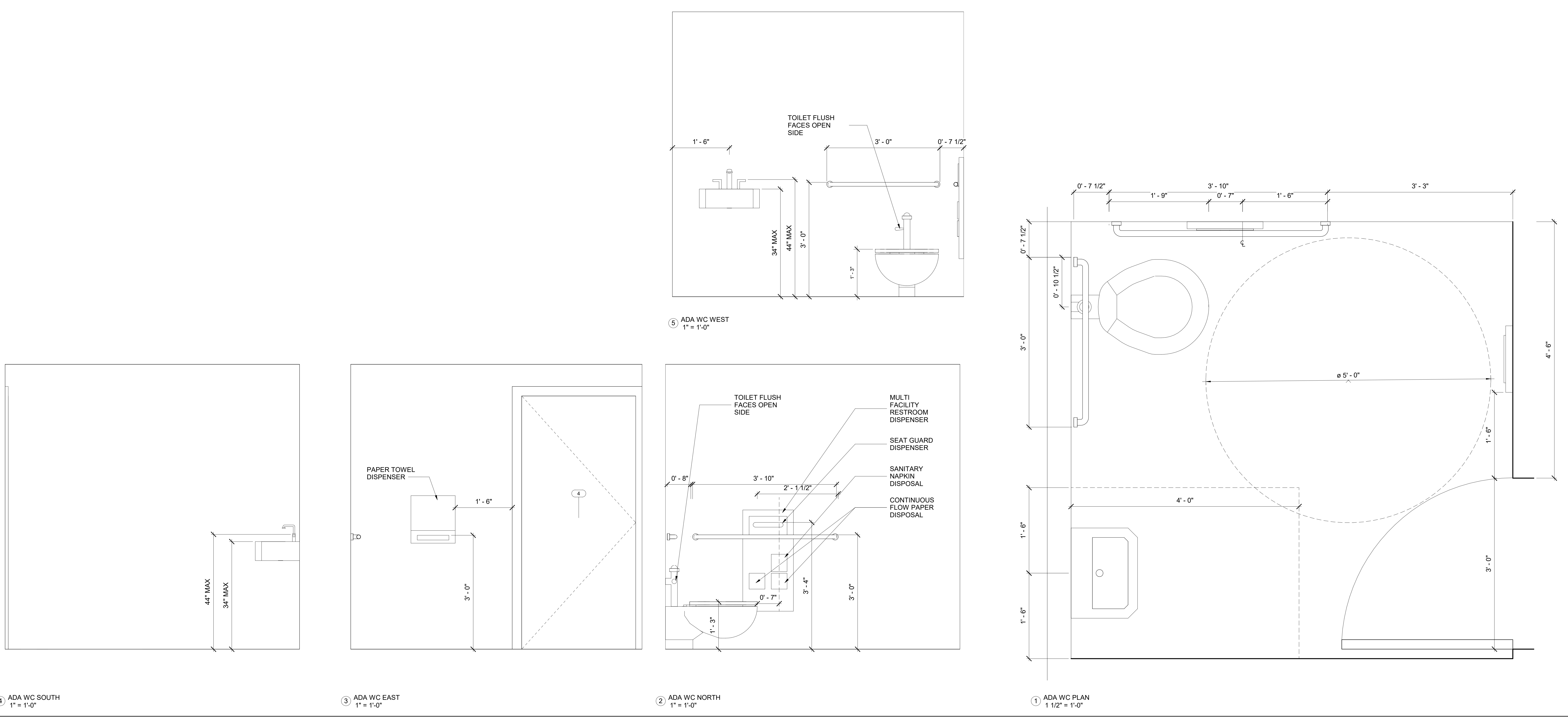
Project Number

SHEET TITLE

ADA RESTROOM

SHEET NUMBER

A100



CLIENT 1
-

CLIENT 2
-

REPRESENTATIVE
-

ARCHITECT 1
-

ANDERSON BARKER ARCHITECTS
ARCHITECTURE

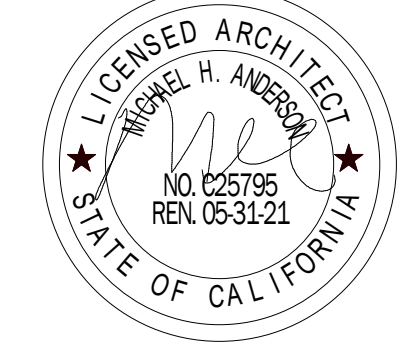
CITY DESIGN STUDIO
ARCHITECTURE

SECONDARY DESIGNERS
-

ENGINEER 1
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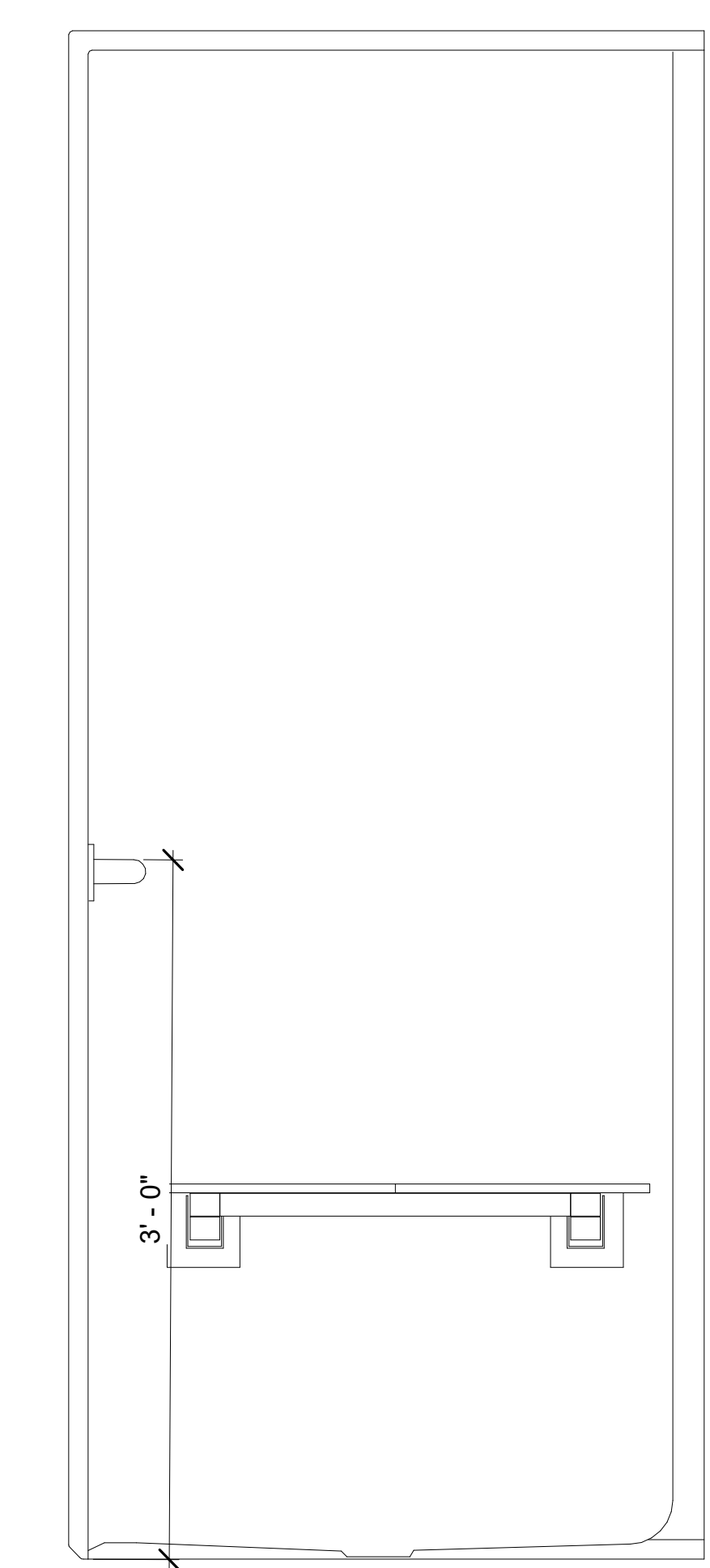
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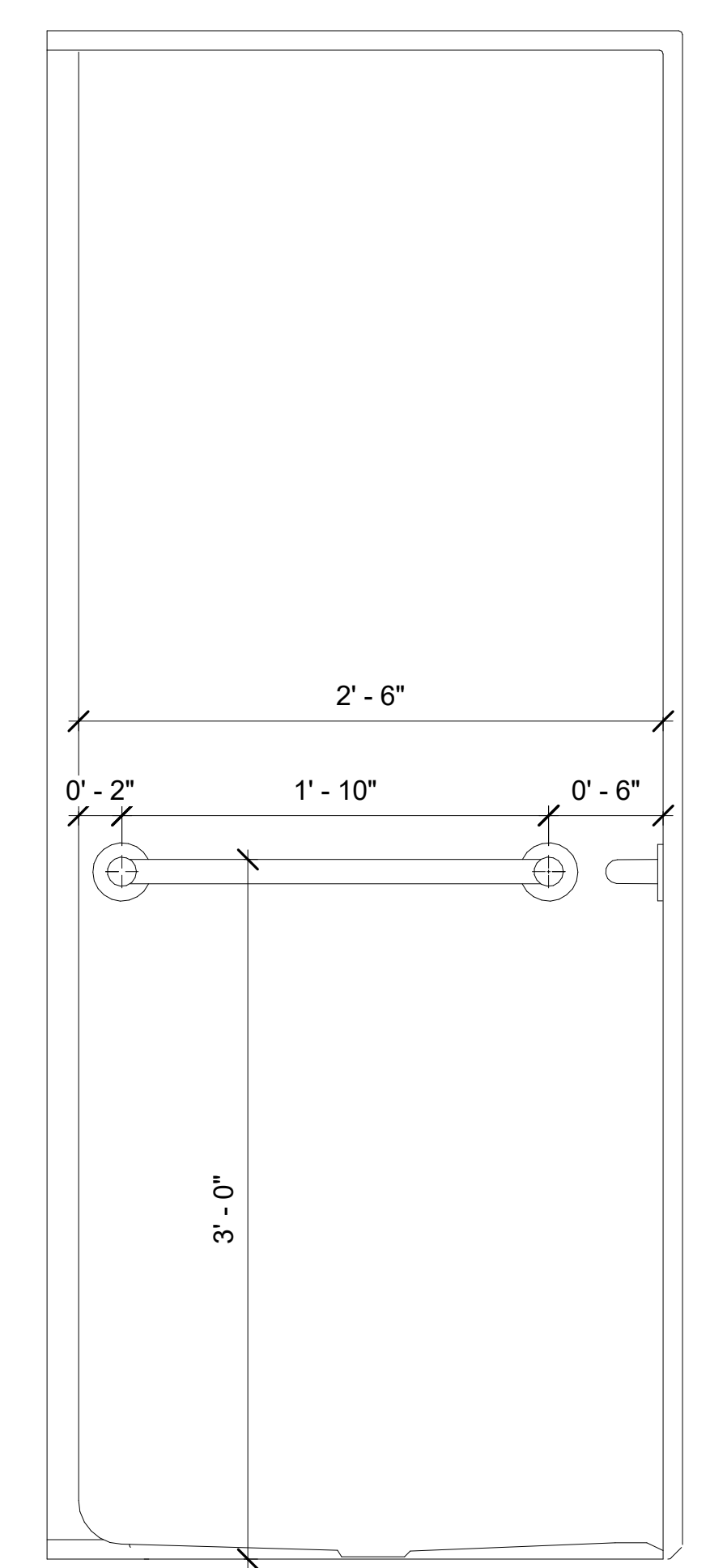
ADA SHOWER

SHEET NUMBER

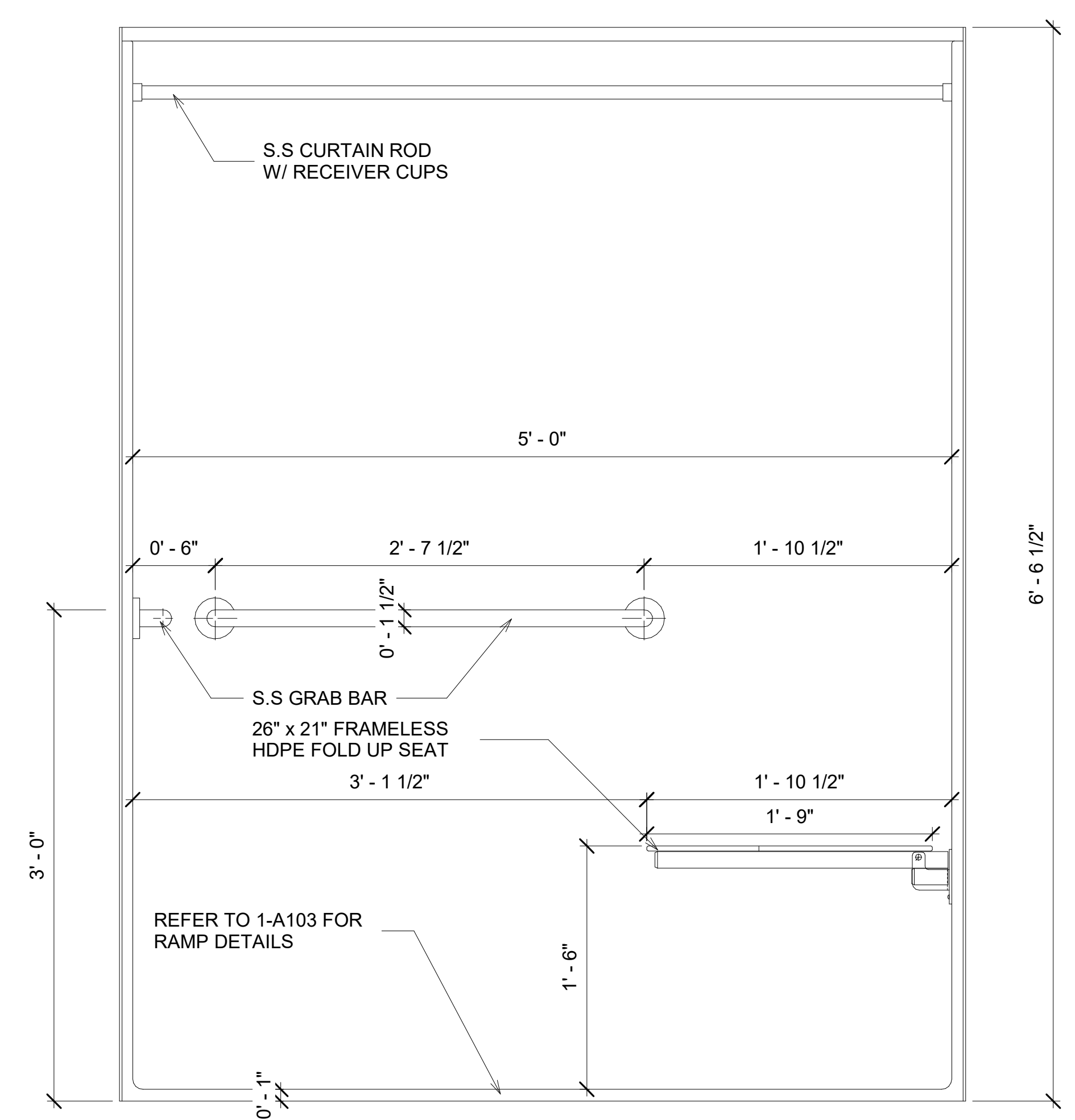
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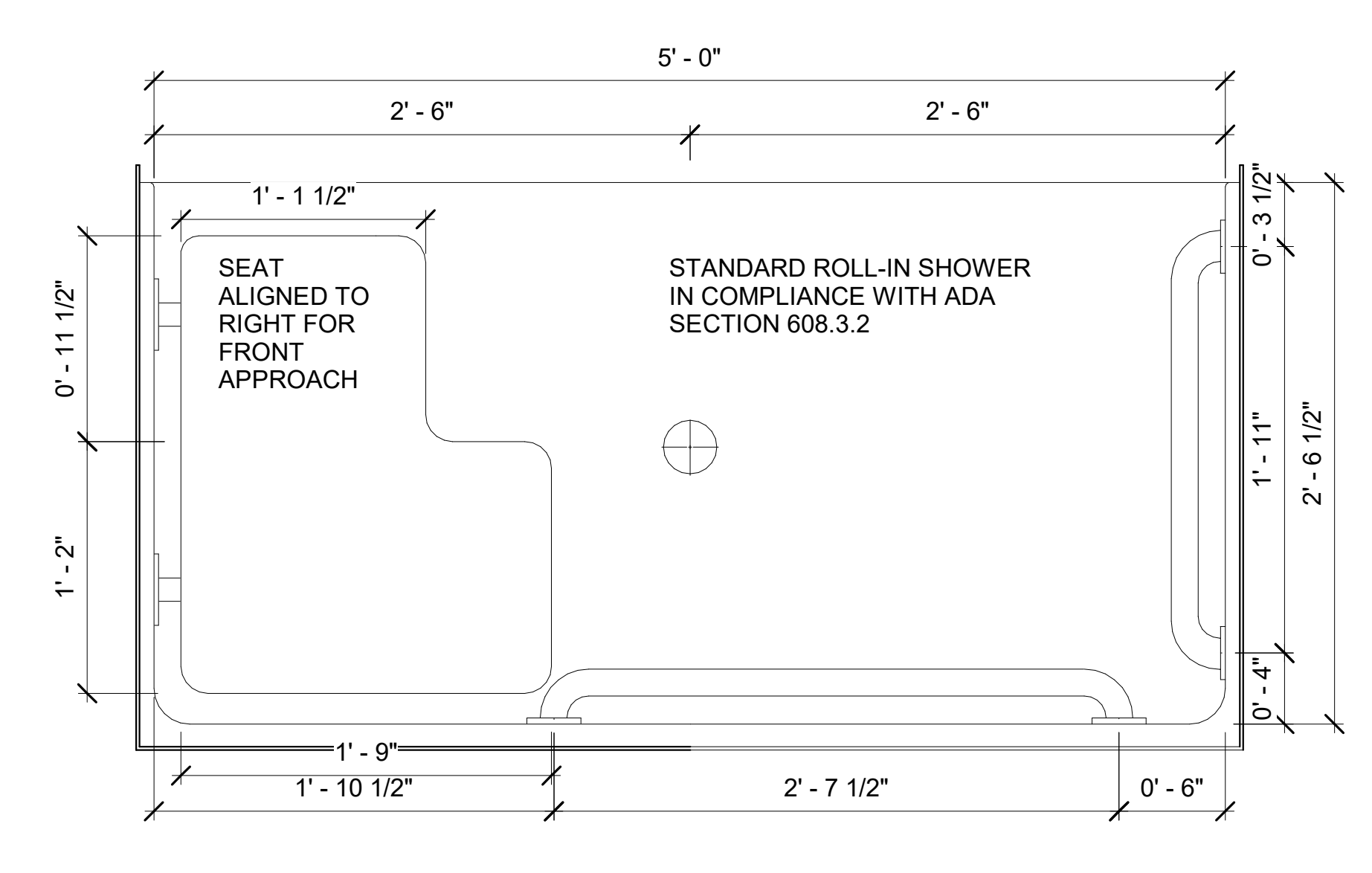
6 ADA SHOWER SIDE 2
1 1/2" = 1'-0"



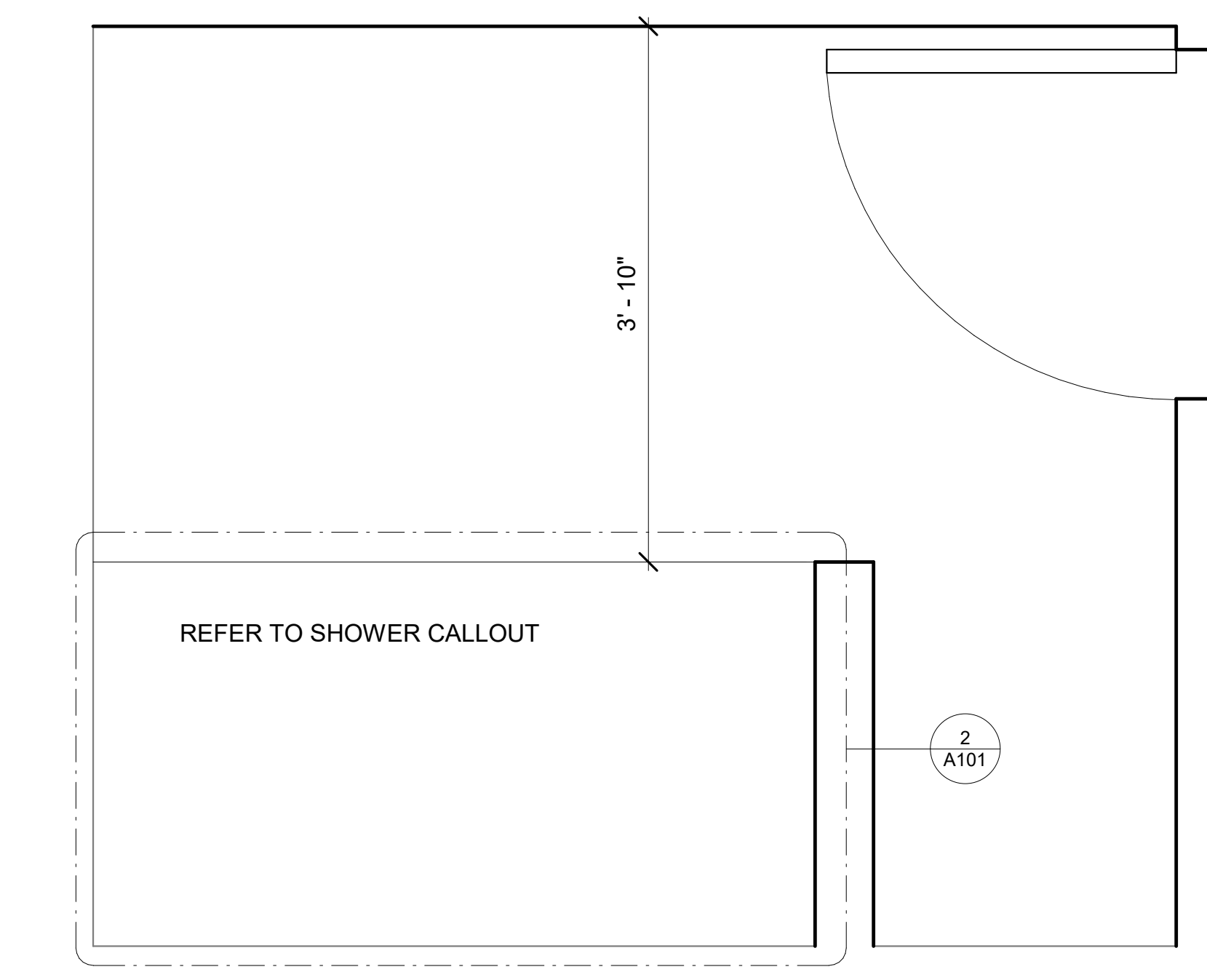
5 ADA SHOWER SIDE 1
1 1/2" = 1'-0"



4 ADA SHOWER FRONT
1 1/2" = 1'-0"



2 ADA SHOWER CALLOUT
1 1/2" = 1'-0"



1 ADA SHOWER PLAN
1" = 1'-0"

CLIENT 1
-

CLIENT 2
-

REPRESENTATIVE
-

ARCHITECT 1
-

ANDERSON BARKER ARCHITECTS
ARCHITECTURE

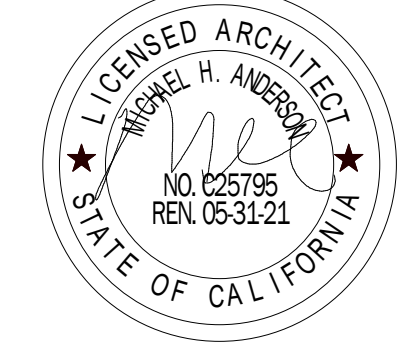
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SECONDARY DESIGNERS
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ENGINEER 1
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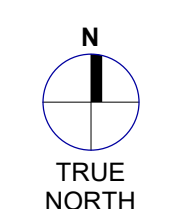
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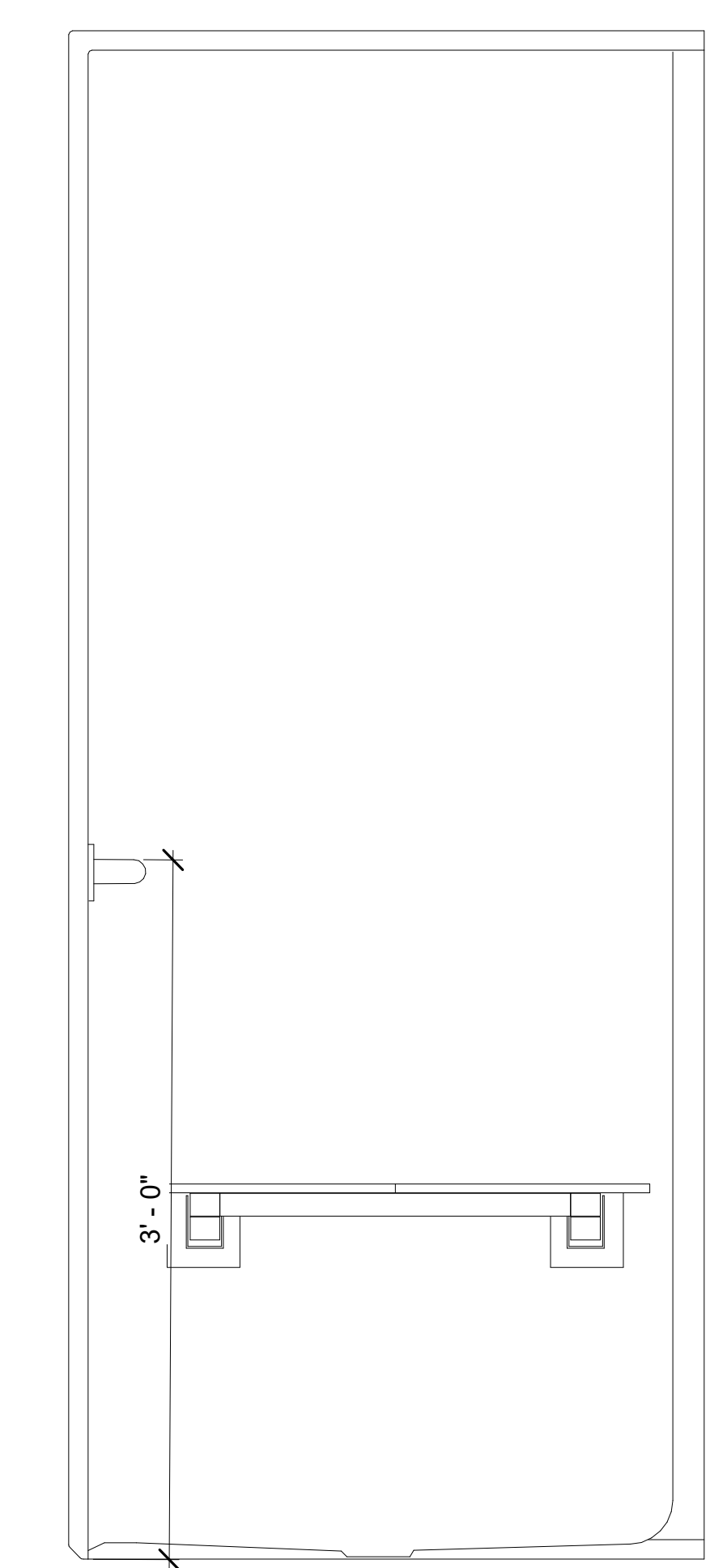
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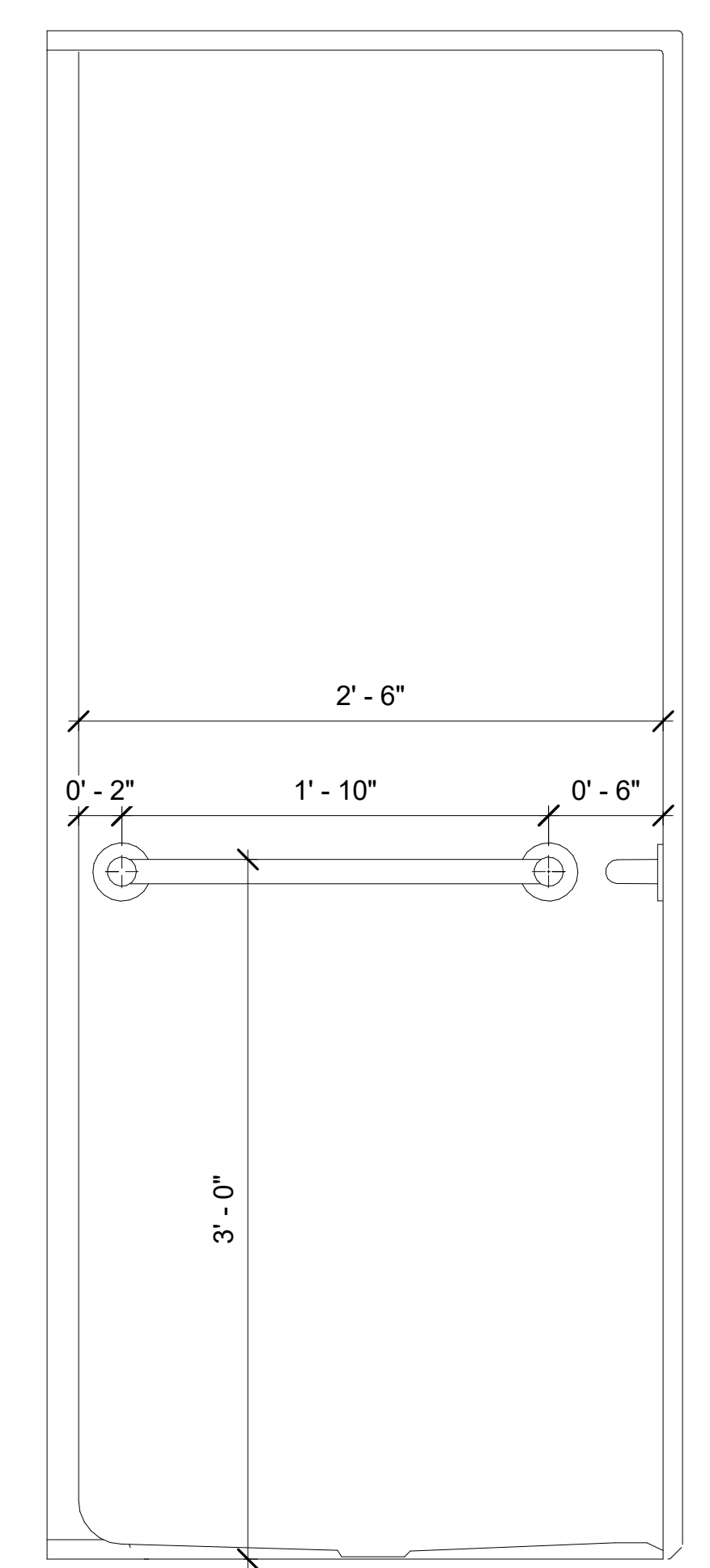
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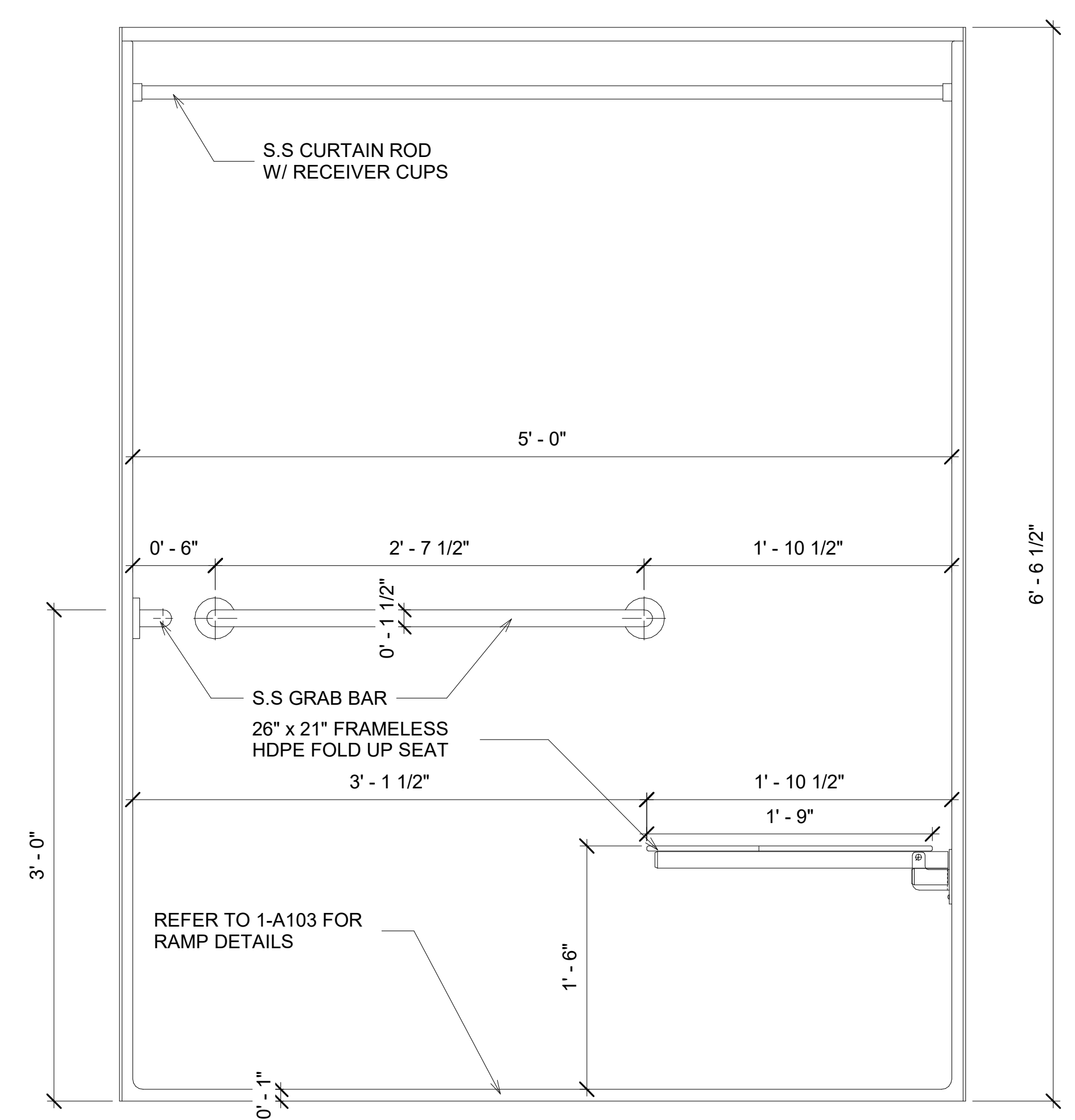
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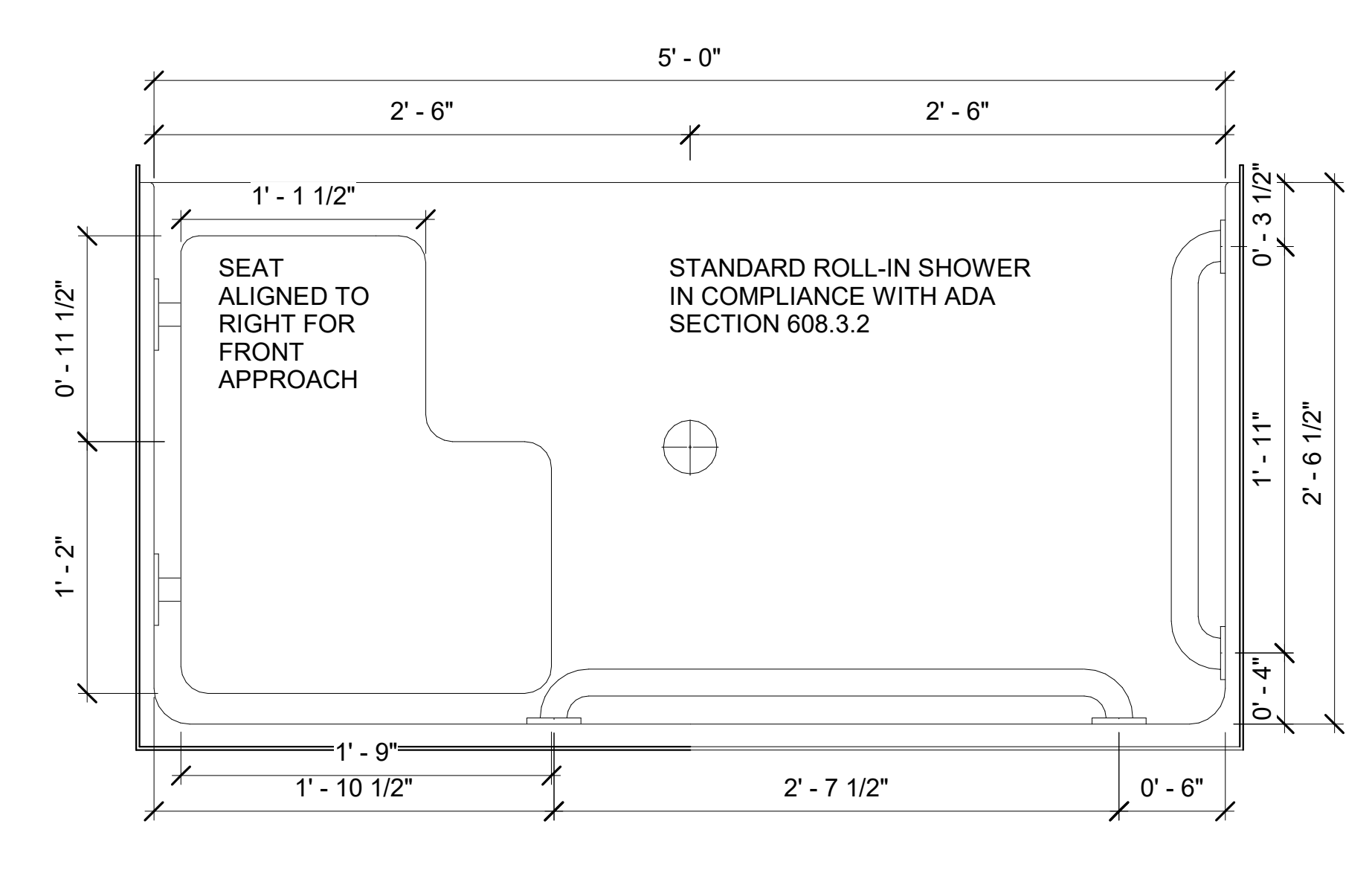
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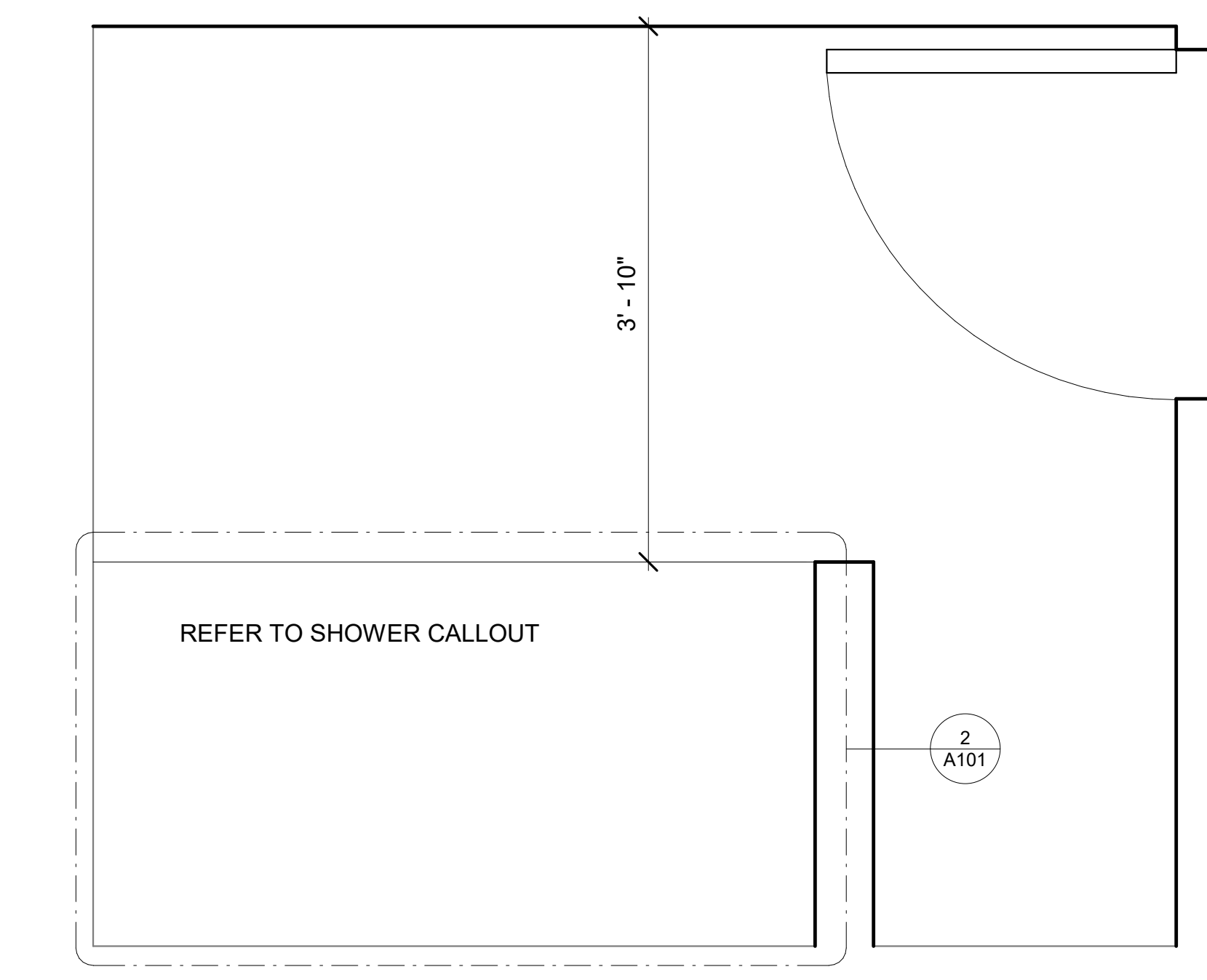
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1 ADA SHOWER PLAN
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CLIENT 1

CLIENT 2

REPRESENTATIVE

ARCHITECT 1

ANDERSON BARKER ARCHITECTS
ARCHITECTURE

CITY DESIGN STUDIO
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SECONDARY DESIGNERS

ENGINEER 1

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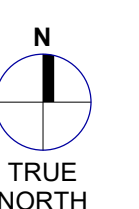
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KEY PLAN



PROJECT NUMBER

Project Number

SHEET TITLE

DOOR AND FINISH SCHEDULE

SHEET NUMBER

A102

Door Schedule																
Mark	Door Type	Door Hardware Set	Door Hardware Mode	New	Room	Width	Height	Thickness	Panel Type	Panel Finish	Frame Type	Frame Material	Detail - Head	Detail - Jamb	Detail - Sill	Fire Rating
1	SINGLE FLUSH			Yes		3' - 0"	6' - 8"	0" - 1 3/4"	H.M.	PNT-1	H.M.	ALUM	3-A009	2-A009	4-A009	0 HRS
2	SINGLE FLUSH			Yes		3' - 0"	6' - 8"	0" - 1 3/4"	H.M.	PNT-1	H.M.	ALUM	3-A009	2-A009	4-A009	0 HRS
3	SINGLE FLUSH			Yes		2' - 6"	6' - 8"	0" - 1 3/4"	H.M.	PNT-1	H.M.	ALUM	3-A009	2-A009	4-A009	0 HRS
4	SINGLE FLUSH			Yes		3' - 0"	6' - 8"	0" - 1 3/4"	H.M.	PNT-1	H.M.	ALUM	3-A009	2-A009	4-A009	0 HRS
5	DOOR OPENING			Yes		8' - 9"	10' - 0"	N/A	N/A	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
6	SINGLE FLUSH			Yes		2' - 6"	6' - 8"	0" - 1 3/4"	H.M.	PNT-1	H.M.	ALUM	3-A009	2-A009	4-A009	0 HRS
7	DOOR OPENING			Yes		5' - 2"	10' - 0"	N/A	N/A	PNT-1	N/A	N/A	3-A009	2-A009	4-A009	0 HRS
8	SINGLE FLUSH			Yes		3' - 0"	6' - 8"	0" - 1 3/4"	H.M.	PNT-1	H.M.	ALUM	3-A009	2-A009	4-A009	0 HRS
9	SINGLE FLUSH			Yes		3' - 0"	6' - 8"	0" - 1 3/4"	H.M.	PNT-1	H.M.	ALUM	3-A009	2-A009	4-A009	0 HRS
10	SINGLE FLUSH			Yes		3' - 0"	6' - 8"	0" - 1 3/4"	H.M.	PNT-1	EXISTING TO STAY	ALUM	3-A009	2-A009	4-A009	0 HRS
11	SINGLE FLUSH			Yes		3' - 0"	6' - 8"	0" - 1 3/4"	H.M.	PNT-1	H.M.	ALUM	3-A009	2-A009	4-A009	0 HRS
12	SINGLE FLUSH					2' - 6"	6' - 8"		EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
13	DOOR OPENING					4' - 0"	7' - 0"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
14	DOOR OPENING					2' - 11"	0' - 0"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
15	DOOR OPENING					2' - 11"	0' - 0"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
16	DOOR OPENING					3' - 0"	6' - 8"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
17	DOOR OPENING					2' - 6"	7' - 0"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
18	SINGLE FLUSH					0' - 0"	0' - 0"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
19	SINGLE FLUSH					3' - 0"	6' - 8"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
21	SINGLE FLUSH					2' - 6"	6' - 8"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
22	SINGLE FLUSH					2' - 6"	6' - 8"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
23	SINGLE FLUSH					2' - 10"	7' - 0"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
24	SINGLE FLUSH					4' - 0"	6' - 8"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
25	SINGLE FLUSH					2' - 6"	6' - 8"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
26	SINGLE FLUSH					2' - 6"	6' - 8"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
27	SINGLE FLUSH					2' - 6"	6' - 8"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
28	SINGLE FLUSH					2' - 6"	6' - 8"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
29	SINGLE FLUSH					2' - 6"	6' - 8"	EXISTING	EXISTING	PNT-1	EXISTING TO STAY	EXISTING TO STAY	3-A009	2-A009	4-A009	0 HRS
30	SINGLE FLUSH			Yes		3' - 0"	6' - 8"	0" - 1 3/4"	H.M.	PNT-1	H.M.	ALUM	3-A009	2-A009	4-A009	0 HRS
31	SINGLE FLUSH			Yes		3' - 0"	6' - 8"	0" - 1 3/4"	H.M.	PNT-1	H.M.	ALUM	3-A009	2-A009	4-A009	0 HRS

FINISH LEGEND								
Material Code	Material Number	Material Type	Location Where Used	Manufacturer	Product Name	Product Number	Product Color	Product Finish
PNT	1	Paint	Walls/ Ceiling	Sherwin Williams	-	SW 7008	Alabaster	-
SEAL	-	Water-Based Natural Look Sealer	Floor	Sherwin Williams	Clarishield	50.100214-16	-	-

Finish Schedule							
Number	Name	Area	Ceiling Finish	Wall Finish	Floor Finish	Occupancy	
1	WOMEN'S DORM #1	915 SF	PNT-1	PNT-1	SEAL	R	
2	WOMEN'S DORM #2	1693 SF	PNT-1	PNT-1	SEAL	R	
3	CIRCULATION AREA	2736 SF	PNT-1	PNT-1	SEAL	R	
7	MEN'S DORM #1	1890 SF	PNT-1	PNT-1	SEAL	R	
8	ELECTRIC ROOM 1	458 SF	PNT-1	PNT-1	SEAL	R	
9	MEN'S DORM #2	5400 SF	PNT-1	PNT-1	SEAL	R	
11	INTAKE ROOM	1127 SF	PNT-1	PNT-1	SEAL	S	
12	DAY-TIME LOCKERS	238 SF	PNT-1	PNT-1	SEAL	S	
13	DINING AREA	553 SF	PNT-1	PNT-1	SEAL	A	
14	ADA WC	59 SF	PNT-1	PNT-1	SEAL	R	
15	ADA SHOWER	59 SF	PNT-1	PNT-1	SEAL	R	
16	LAUNDRY	249 SF	PNT-1	PNT-1	SEAL	R	
17	CATER PREP	336 SF	PNT-1	PNT-1	SEAL	R	
18	ELECTRIC ROOM 2	127 SF	PNT-1	PNT-1	SEAL	R	

ARCHITECT'S COPY - 18" x 24" (Vertical)

D

C

B

A

SPECIFICATIONS

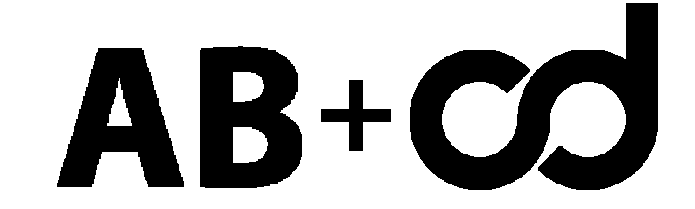
FIRE-PROTECTION SPECIALTIES - SECTION 104400 (CONT'D)

- 7. DOOR GLAZING: MANUFACTURER'S STANDARD, AS FOLLOWS:
 - a. TEMPERED FLOAT GLASS: ASTM C 1048, KIND FT, CONDITION A, TYPE I, QUALITY 03, CLASS 1 (CLEAR)
- 8. DOOR STYLE: MANUFACTURER'S STANDARD DESIGN VERTICAL DUO PANEL WITH FRAME WITH 1/4 INCH THICK GLASS.
- 9. DOOR CONSTRUCTION: FABRICATE DOORS ACCORDING TO MANUFACTURER'S STANDARDS, OF MATERIALS INDICATED, AND COORDINATED WITH CABINET TYPES AND TRIM STYLES SELECTED.
- 10. DOOR HARDWARE: PROVIDE MANUFACTURER'S STANDARD DOOR OPERATING HARDWARE OF PROPER TYPE FOR CABINET TYPE, TRIM STYLE, AND DOOR MATERIAL AND STYLE INDICATED. PROVIDE EXPOSED DOOR FULL AND FRICTION LATCH. PROVIDE CONCEALED OR CONTINUOUS-TYPE HINGE PERMITTING DOOR TO OPEN 180 DEGREES.
- 2.3 LOW PROFILE FIRE EXTINGUISHER AND CABINET
 - A. FULL RECESSED INSTALLATION IN STANDARD DEPTH GYPSUM. PROVIDE A NARROW BODY FIRE EXTINGUISHER WITH MATCHING CABINET FOR FULL RECESSED INSTALLATION IN STANDARD 3/8 INCH THICK METAL STUD WALLS.
 - 1. BASIS OF DESIGN: PROVIDE OVAL BRAND FIRE PRODUCTS 10#ABC FIRE EXTINGUISHER AND CABINET SYSTEM FOR FULL RECESSED APPLICATION.
 - B. WALL HUNG ADA COMPLIANT EXTINGUISHERS: PROVIDE A NARROW BODY THAT WHEN MOUNTED ON THE WALL MEETS ADA REQUIREMENTS FOR PROTRUSION.
 - 1. BASIS OF DESIGN: PROVIDE OVAL BRAND FIRE PRODUCTS 10#ABC FIRE EXTINGUISHER WITH MOUNTING HOOK.
- 2.4 FINISHES
 - A. GENERAL: APPLY FINISHES IN FACTORY AFTER PRODUCTS ARE ASSEMBLED. PROTECT CABINETS WITH PLASTIC OR PAPER COVERING, PRIOR TO SHIPMENT.
 - B. PAINTED FINISHES: PROVIDE PAINTED FINISH TO COMPLY WITH REQUIREMENTS INDICATED BELOW FOR EXTENT, PREPARATION AND TYPE.
 - 1. COLOR: PROVIDE COLOR OR COLOR MATCHES INDICATED, OR, IF NOT OTHERWISE INDICATED, AS SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD COLORS.
 - 2. PREPARATION: CLEAN SURFACES OF DIRT, GREASE, AND LOOSE RUST OR MILL SCALE.
 - 3. FIELD-PAINTABLE FACTORY FINISH: IMMEDIATELY AFTER CLEANING AND PRE-TREATMENT, APPLY TO SURFACES INDICATED BELOW. MANUFACTURER'S STANDARD FACTORY-APPLIED PAINT SYSTEM WHICH IS SUITABLE AFTER DEGLOSSING, AS AN UNDERCOAT FOR FIELD-APPLIED PAINT SYSTEM SPECIFIED IN FINISH SCHEDULE.
 - a. EXTERIOR OF CABINET EXCEPT FOR THOSE SURFACES INDICATED TO RECEIVE ANOTHER FINISH.
 - b. INTERIOR OF CABINET.

DIVISION 11 EQUIPMENT

- PART 3 - EXECUTION
 - 3.1 PREPARATION
 - A. PREPARE RECESSES FOR RECESSED FIRE-PROTECTION CABINETS AS REQUIRED BY TYPE AND SIZE OF CABINET AND TRIM STYLE.
 - 3.2 INSTALLATION
 - A. GENERAL: FOLLOW MANUFACTURER'S PRINTED INSTRUCTIONS FOR INSTALLATION.
 - B. INSTALL FIRE-PROTECTION SPECIALTIES IN LOCATIONS AND AT MOUNTING HEIGHTS INDICATED OR, IF NOT INDICATED, AT HEIGHTS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
 - 1. FASTEN CABINETS TO STRUCTURE, SQUARE AND PLUMB.
 - 3.3 ADJUSTING AND CLEANING
 - A. ADJUST CABINET DOORS TO OPERATE FREELY WITHOUT BINDING. EXAMINE FIRE EXTINGUISHERS FOR PROPER CHARGING AND TAGGING.
 - 1. REMOVE AND REPLACE DAMAGED, DEFECTIVE, OR UNDERCHARGED UNITS.
 - B. ON COMPLETION OF FIRE-PROTECTION CABINET INSTALLATION, CLEAN INTERIOR AND EXTERIOR SURFACES AS RECOMMENDED BY MANUFACTURER.

- PART 1 - PRODUCTS
 - 1.1 PRODUCTS
 - A. GENERAL: PROVIDE FIRE EXTINGUISHERS FOR EACH FIRE EXTINGUISHER CABINET AND AT OTHER LOCATIONS INDICATED.
 - 1. MOUNTING BRACKETS: MANUFACTURER'S STANDARD STEEL, DESIGNED TO SECURE EXTINGUISHER INDICATED AND WITH PLATED OR BAKED-ENAMEL FINISH.
 - a. PROVIDE BRACKETS FOR EXTINGUISHERS LOCATED AND NOT LOCATED IN CABINETS.
 - B. MULTIPURPOSE DRY-CHEMICAL TYPE: UL-RATED 4-A, 60-B-C, 10-LB. NOMINAL CAPACITY, IN ENAMELED-STEEL CONTAINER.
 - 2.2 FIRE-EXTINGUISHER CABINETS
 - A. GENERAL: PROVIDE FIRE EXTINGUISHER CABINETS, VALVE, OR HOSE CABINETS OF SUITABLE SIZE FOR HOUSING FIRE EXTINGUISHERS, HOSES, AND/OR VALVES OF TYPES AND CAPACITIES SPECIFIED.
 - B. CABINET CONSTRUCTION: PROVIDE MANUFACTURER'S STANDARD BOX (TUB), WITH TRIM, FRAME, DOOR, AND HARDWARE TO SUIT CABINET TYPE, TRIM STYLE, AND DOOR STYLE INDICATED. WELD JOINTS AND GRIND SMOOTH. MITER AND WELD PERIMETER DOOR FRAMES.
 - 1. FIRE-RATED CABINETS: LISTED AND LABELED TO MEET REQUIREMENTS IN ASTM E 814 FOR FIRE-RESISTANCE RATING OF WALL WHERE IT IS INSTALLED.
 - a. CONSTRUCT FIRE-RATED CABINETS WITH DOUBLE WALLS FABRICATED FROM 0.0478 INCH THICK, COLD-ROLLED STEEL SHEET LINED WITH MINIMUM 5/8 INCH THICK, FIRE-BARRIER MATERIAL.
 - 2. CABINET METAL: ENAMELED-STEEL SHEET.
 - 3. CABINET MOUNTING: AS INDICATED AND PER WALL DEPTH; PROVIDE FULLY-RECESSED CABINET OR SEMI-RECESSED CABINETS TO FIT DEPTH OF WALL.
 - 4. CABINET TRIM STYLE:
 - a. FULL RECESSED: TRIMLESS WITH HIDDEN FLANGE OF SAME METAL AND FINISH AS BOX THAT OVERLAPS SURROUNDING WALL FINISH AND THAT IS CONCEALED FROM VIEW BY AN OVERLAPPING DOOR.
 - b. SEMI-RECESSED: ROLLED-EDGE TRIM WITH 2-1/2-INCH BACKBEND DEPTH.
 - 5. CABINET TRIM MATERIAL: MANUFACTURER'S STANDARD STEEL SHEET.
 - 6. DOOR MATERIAL: MANUFACTURER'S STANDARD STEEL SHEET.



PROJECT KING SOLOMON VILLAGE

CLIENT 1 - CLIENT 2 - REPRESENTATIVE -

ARCHITECT 1 -

ANDERSON BARKER ARCHITECTS ARCHITECTURE

CITY DESIGN STUDIO ARCHITECTURE

SECONDARY DESIGNERS -

ENGINEER 1 -

ENGINEER 2 -

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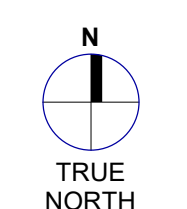
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CONSTRUCTION DOCUMENTS

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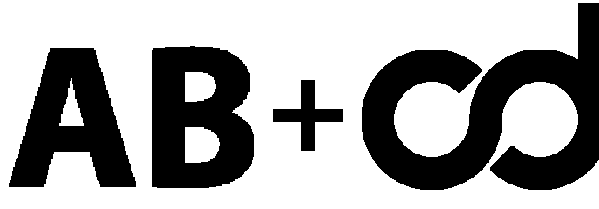
KEY PLAN



PROJECT NUMBER SHEET TITLE SPECIFICATIONS SHEET NUMBER

A603

CONTRACTOR SHALL UTILIZE ALL APPLICABLE TYPICAL ACCESSIBILITY DETAILS



PROJECT
KING SOLOMON VILLAGE

CLIENT 1
CLIENT 2
REPRESENTATIVE
ARCHITECT 1

ANDERSON BARKER ARCHITECTS
ARCHITECTURE
CITY DESIGN STUDIO
ARCHITECTURE
SECONDARY DESIGNERS

ENGINEER 1
ENGINEER 2

REGISTRATION



Each Construction Issue prepared by the Architect describes a portion of the Work required for the total Project. Each Construction Issue may contain one or more Bid Packages or Work Categories as defined by the Owner. A Construction Issue may modify a previously issued document & when issued, supersedes all previous Construction Issues & Modification Documents containing the same document. Individual Construction Issues by their nature are partial Contract Documents & based in part on preliminary or otherwise incomplete information. It is the Contractor's responsibility to augment each Construction Issue using techniques including, but not limited to, allowances & alternatives, to provide a complete scope of work. Due to the refinement & detailing necessary from time to time in order to develop the final Contract Documents, the Contractor shall review all Construction Issues & coordinate the information given in subsequent Construction Issues with that given in earlier Construction Issues.

ATTORNEY - CLIENT PRIVILEGED COMMUNICATION

CONSTRUCTION DOCUMENTS

ISSUE / REVISION

NO.	DATE	DESCRIPTION
1	05/13/21	CD 9/5

KEY PLAN

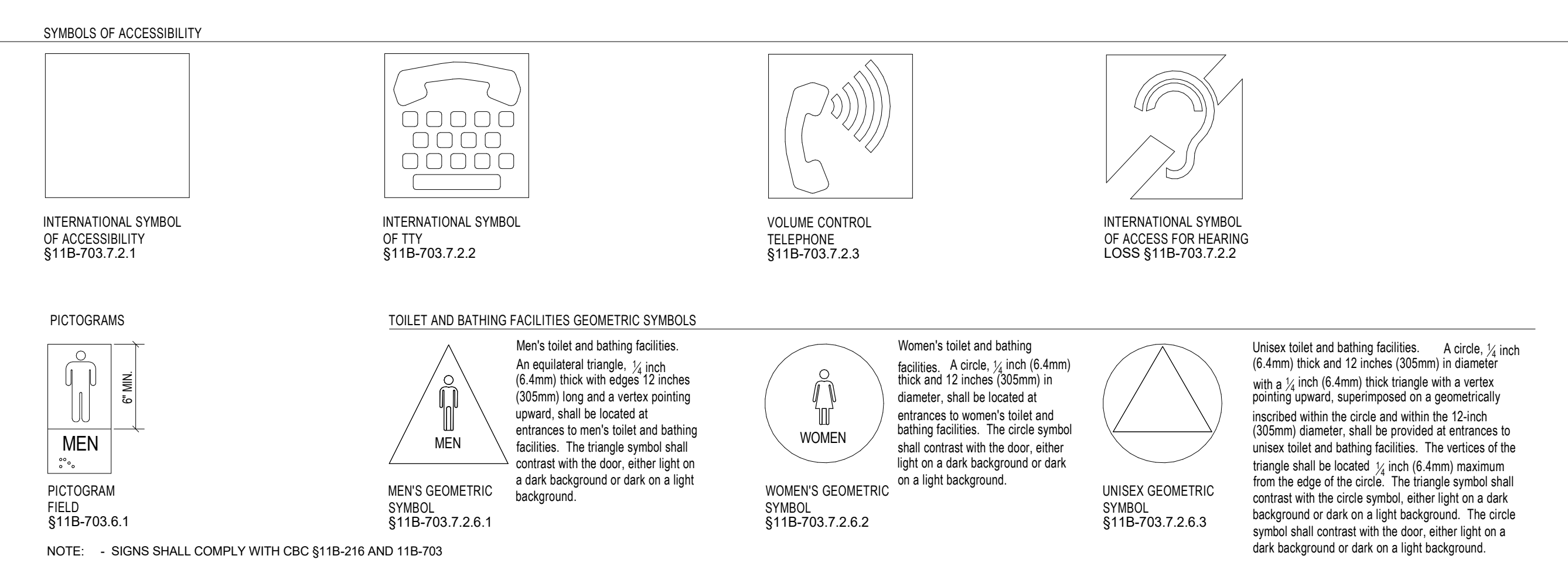
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SHEET TITLE
ADA DETAILS

PROJECT NUMBER
SHEET TITLE
ADA DETAILS

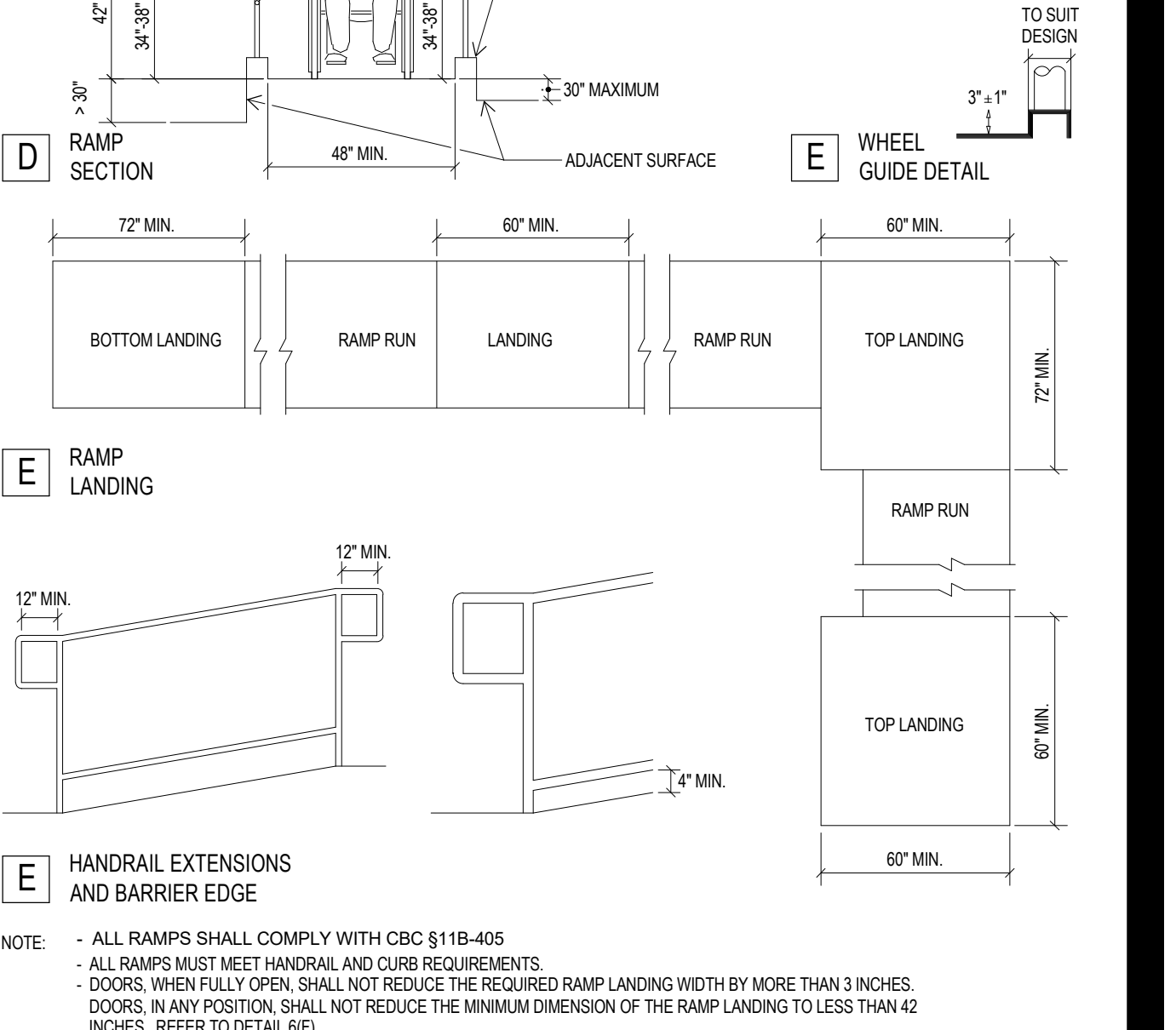
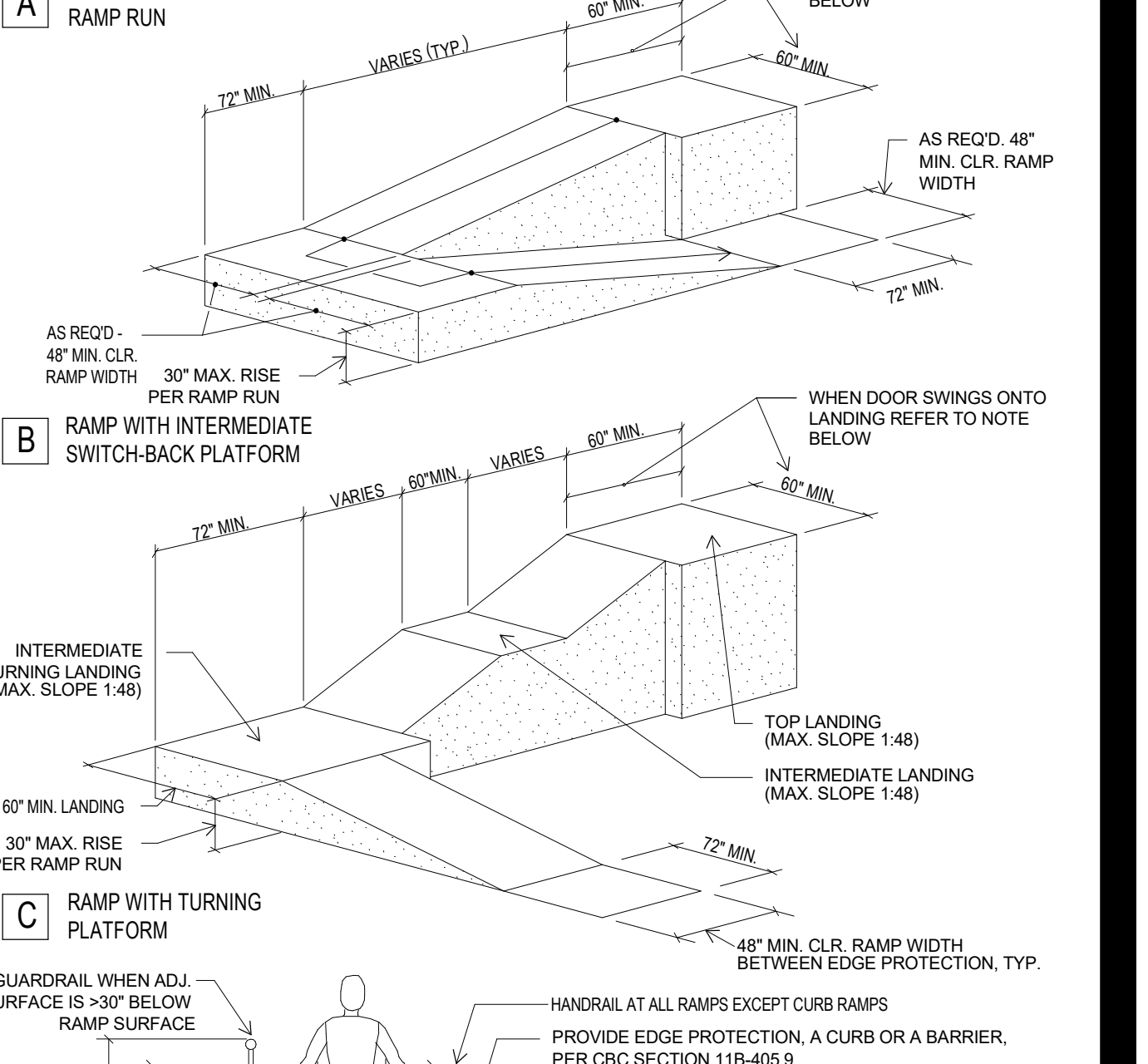
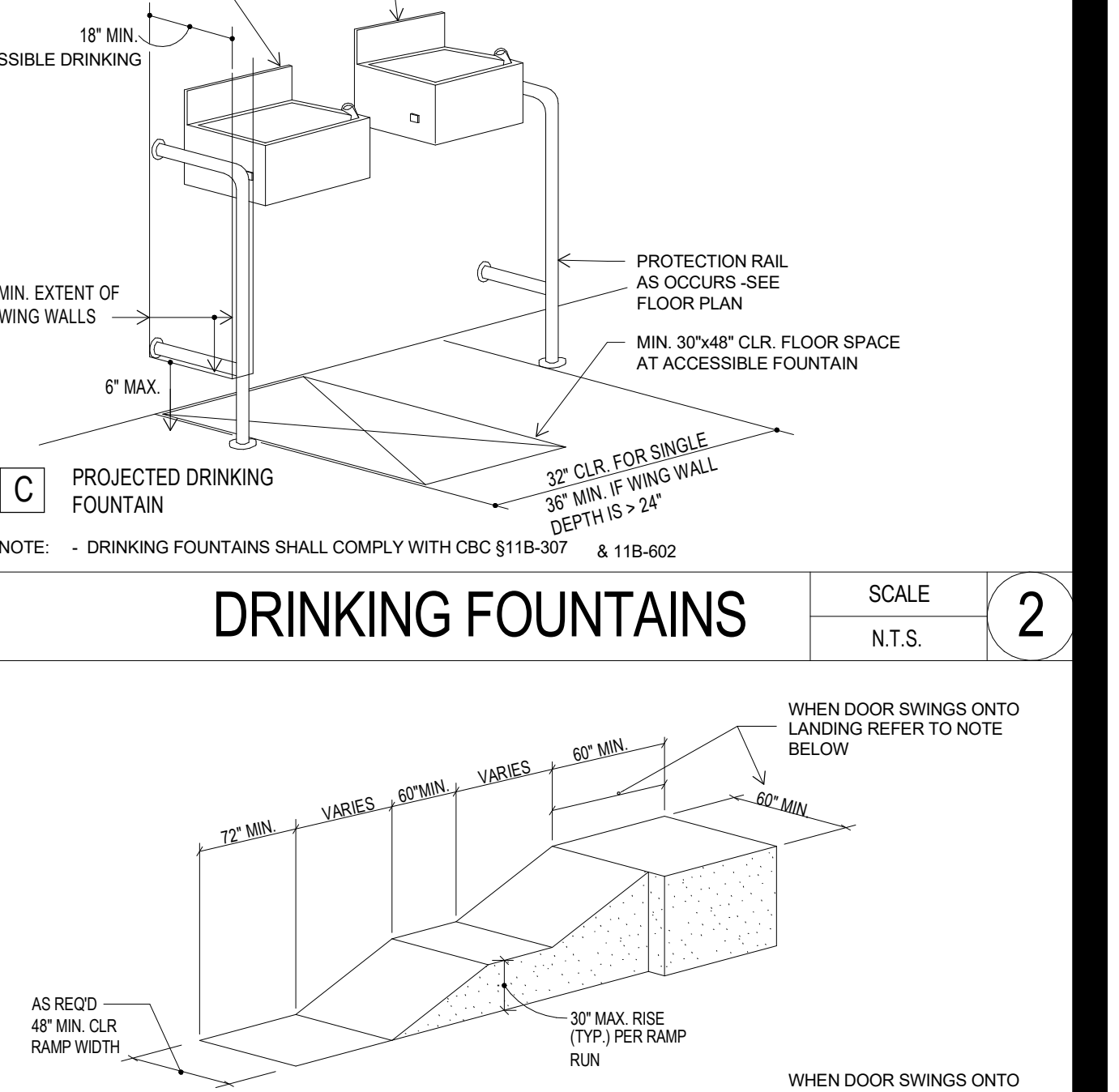
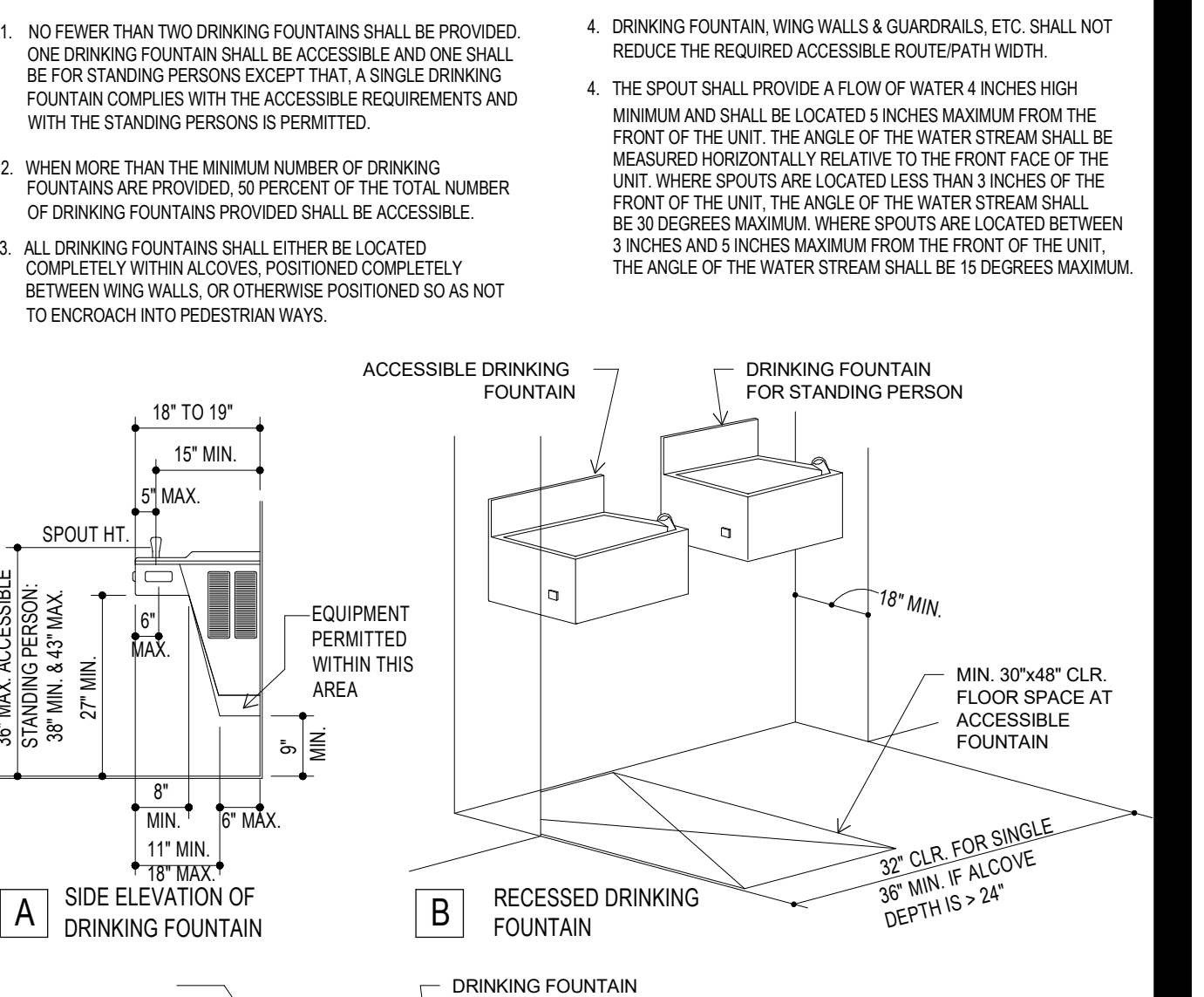
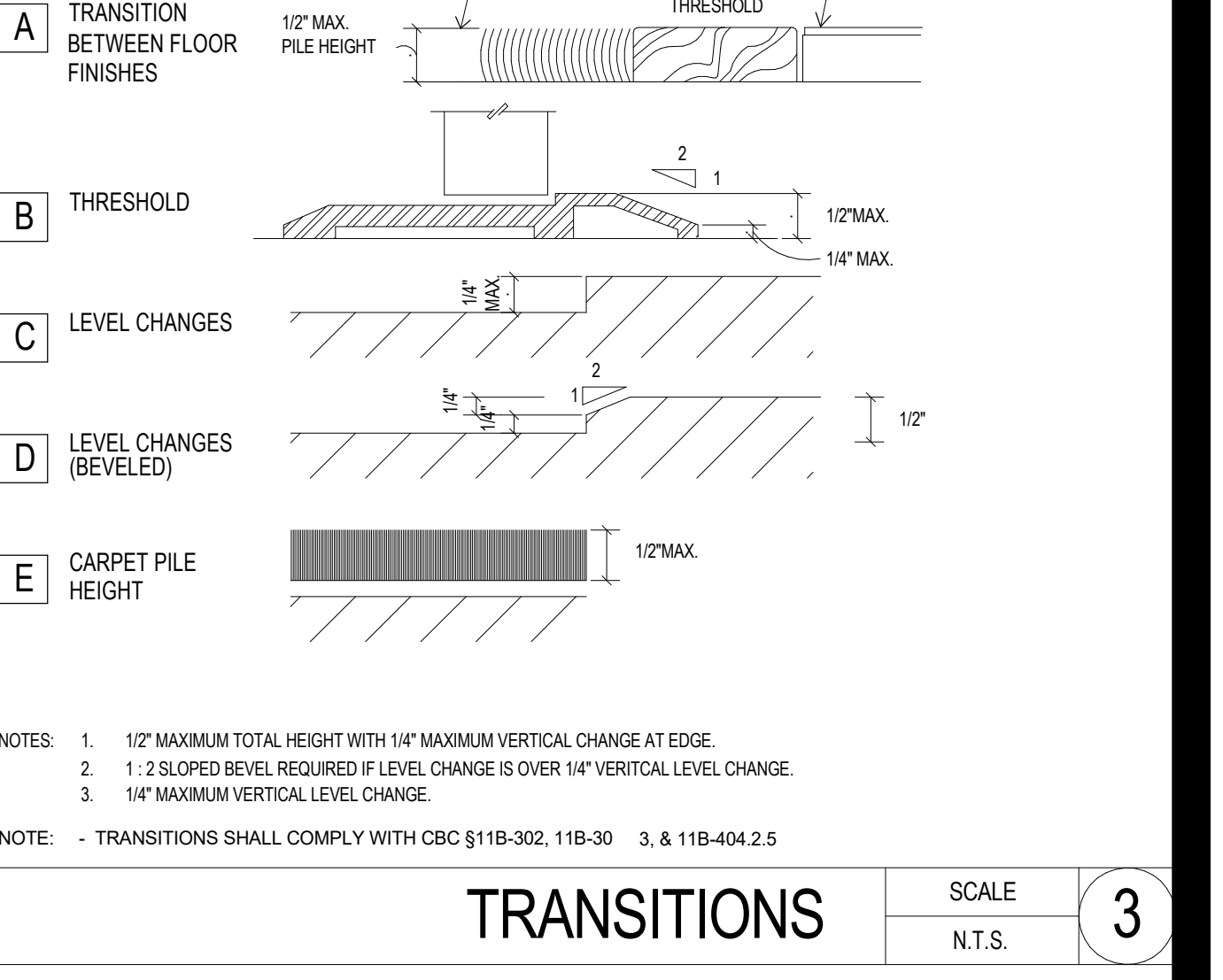
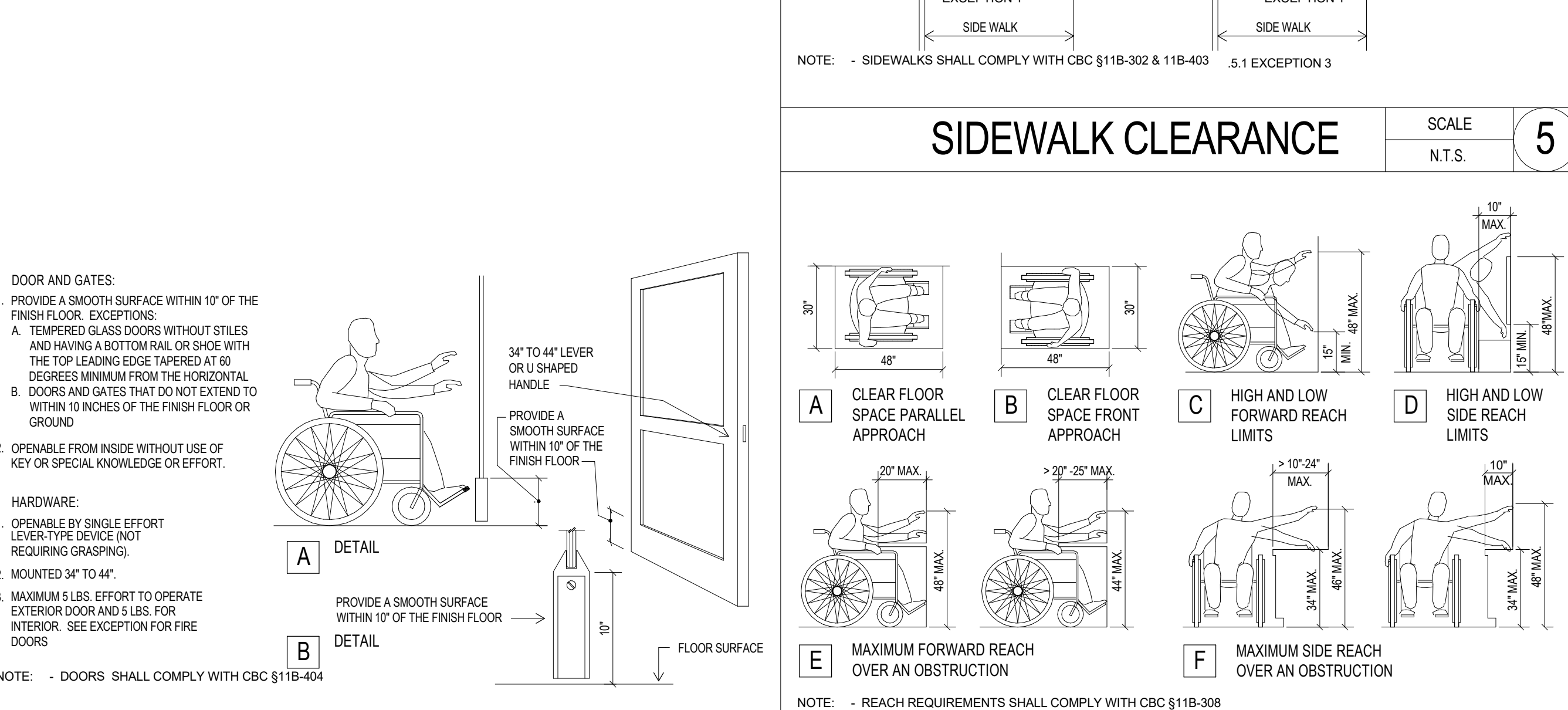
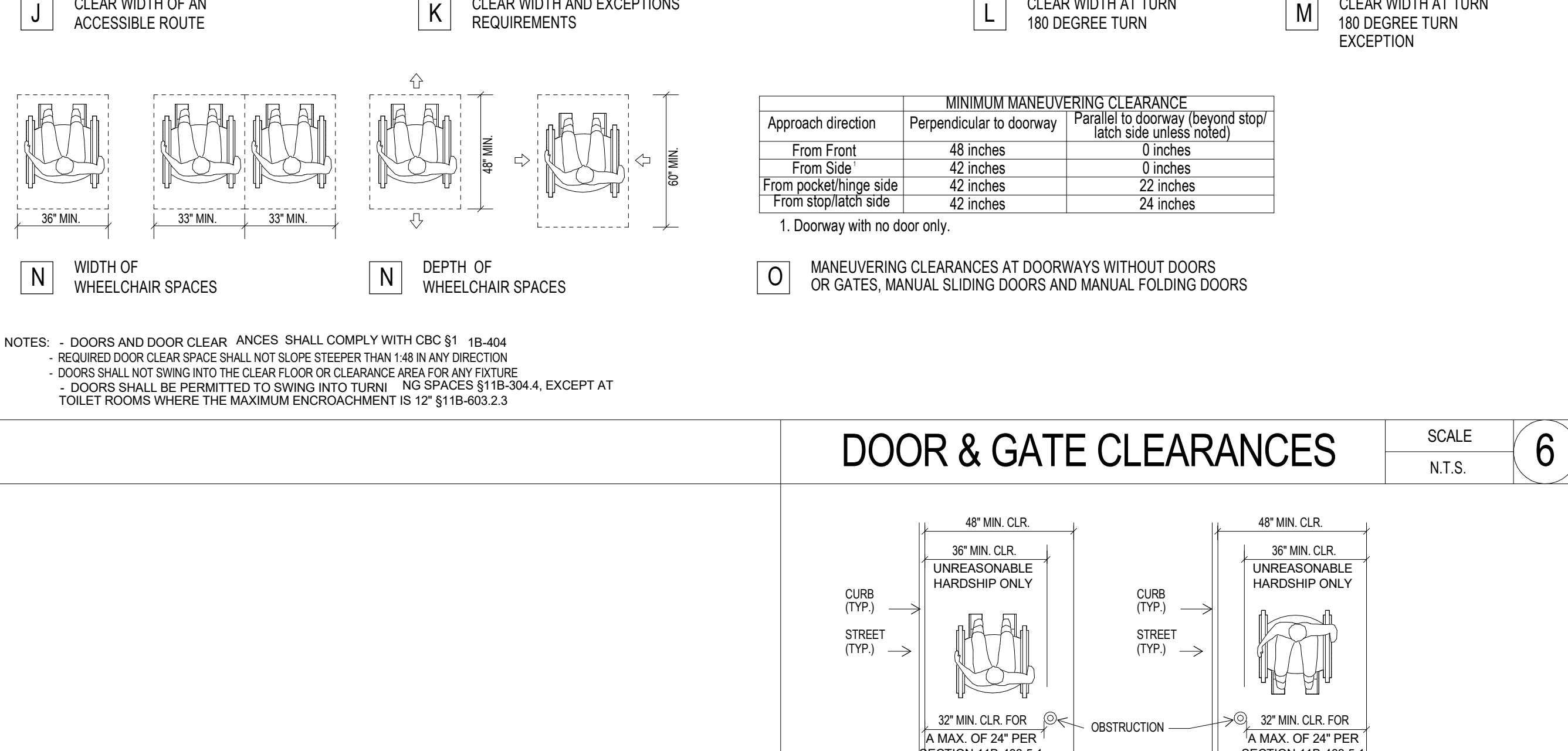
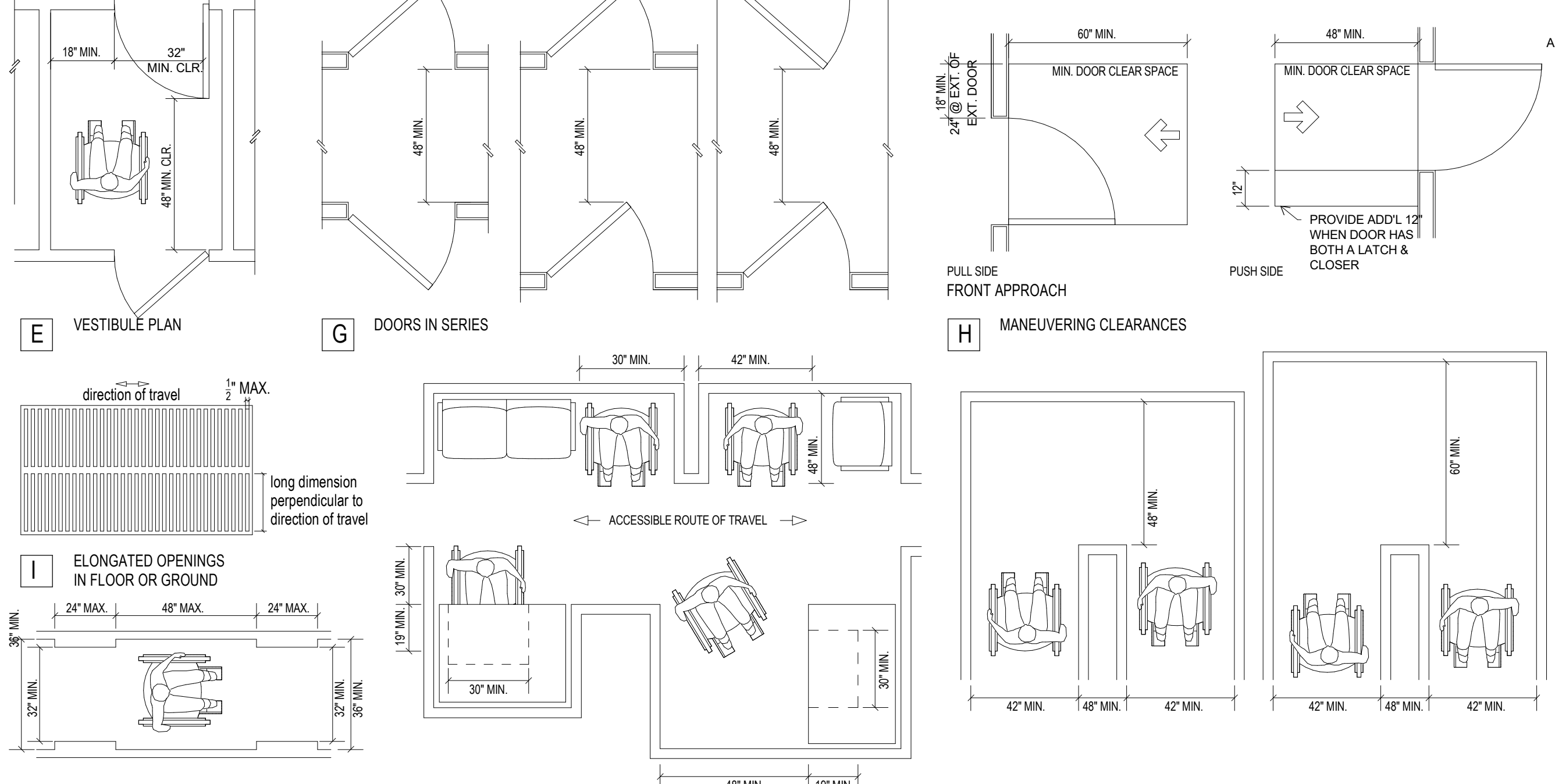
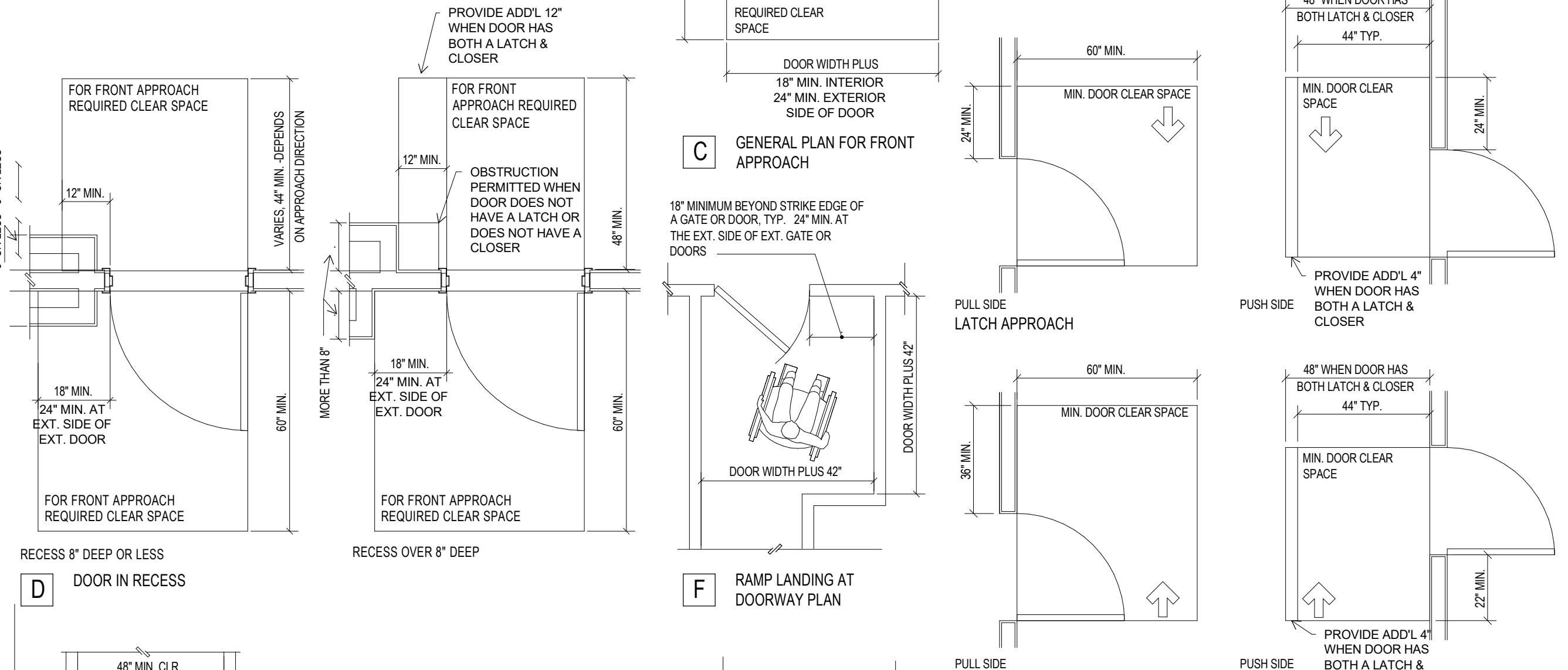
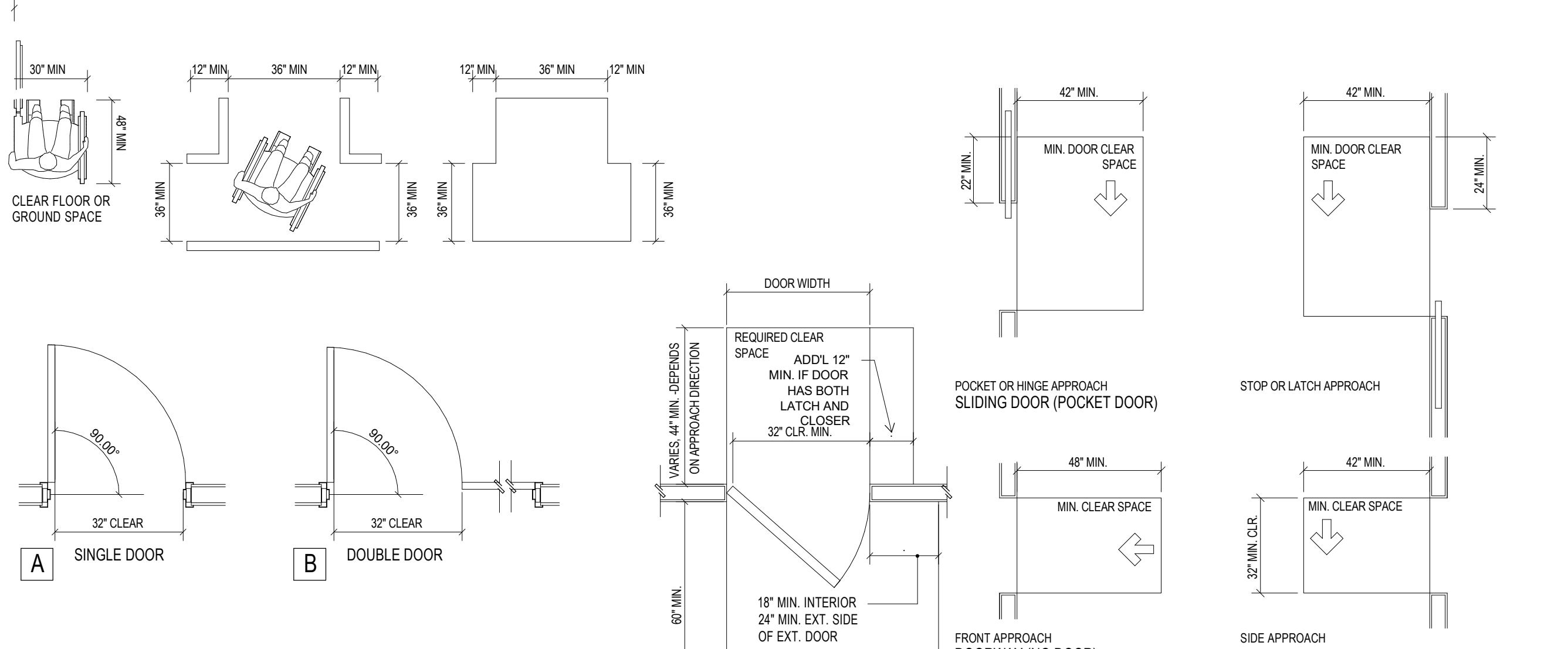
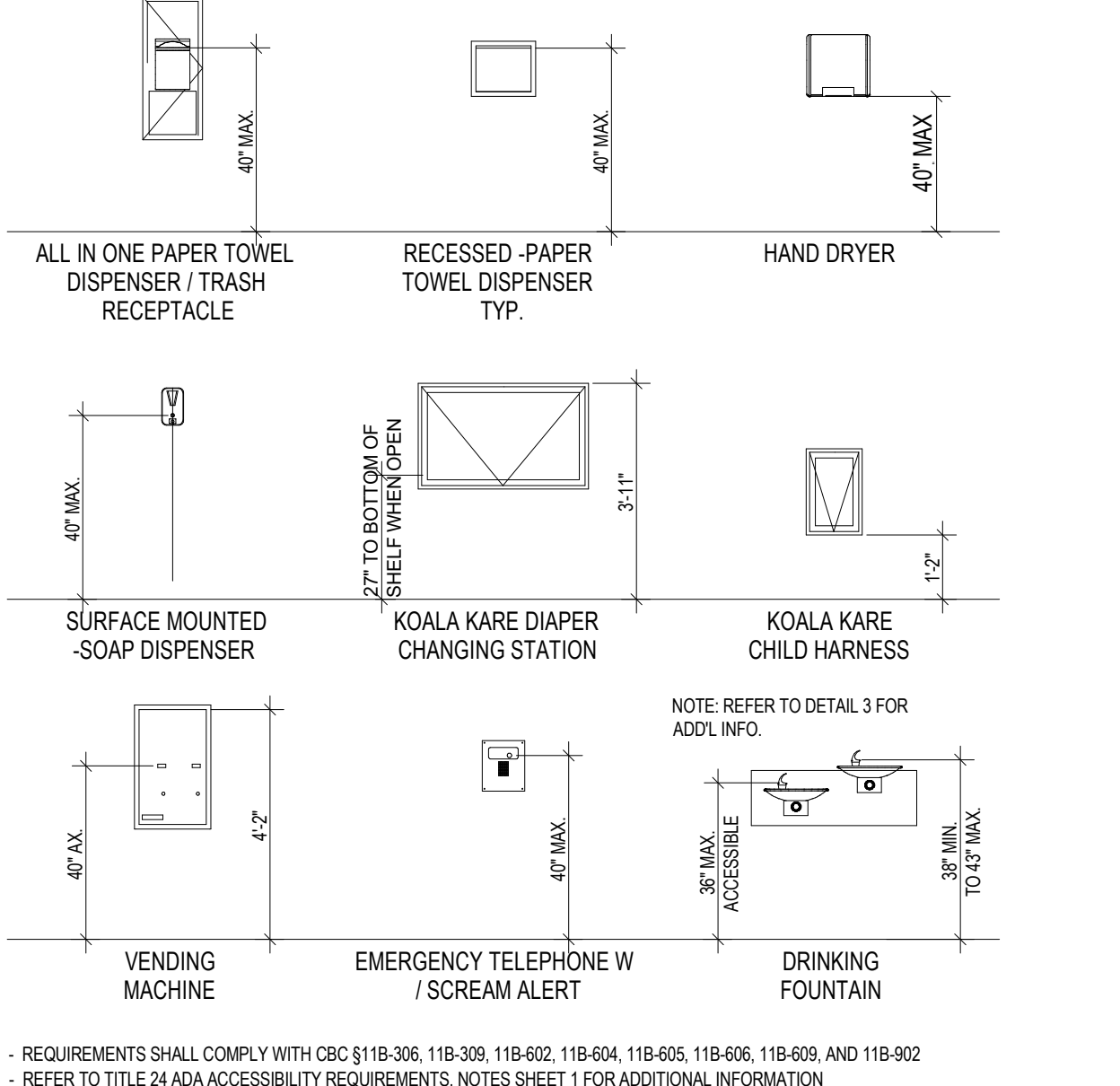
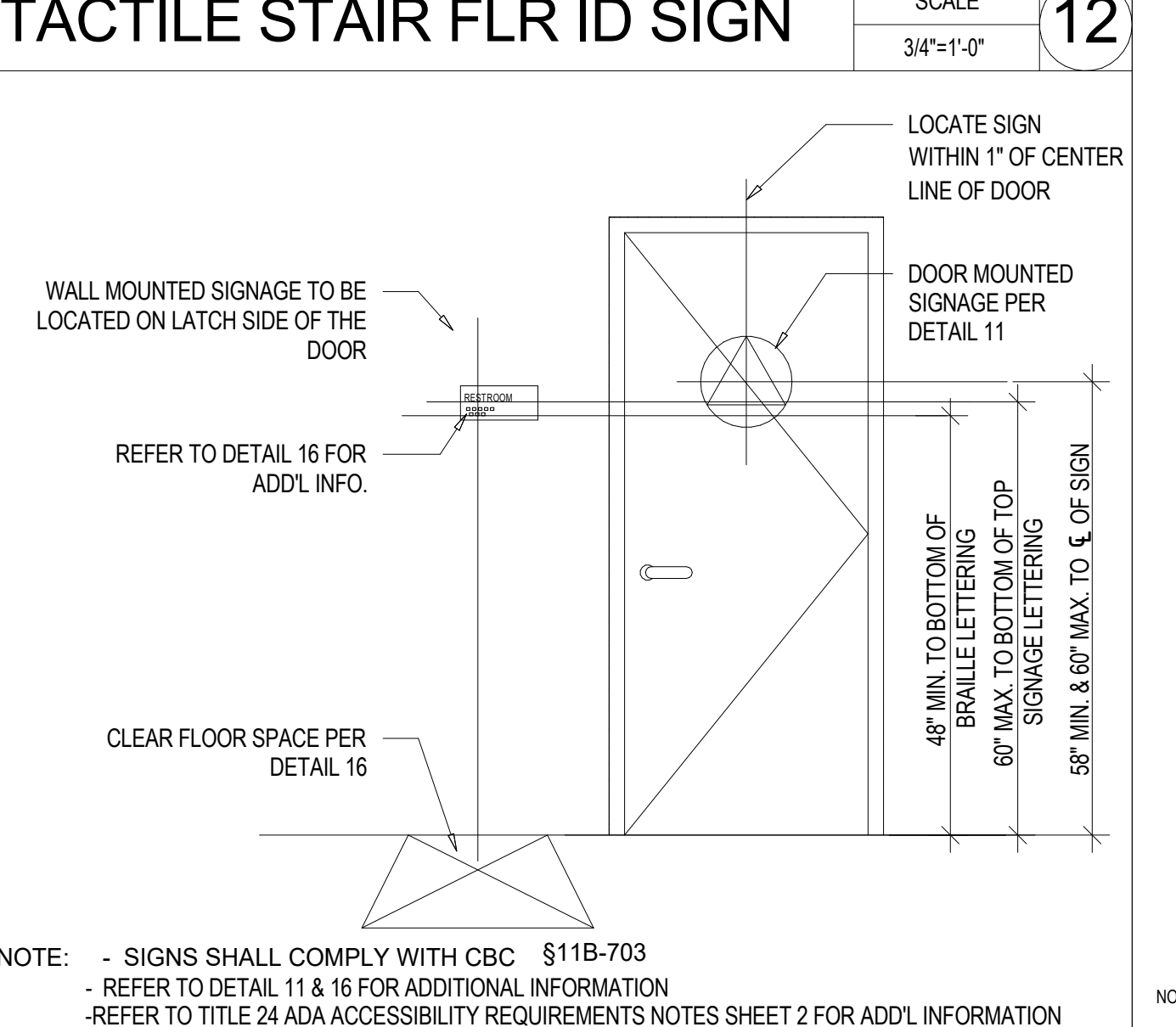
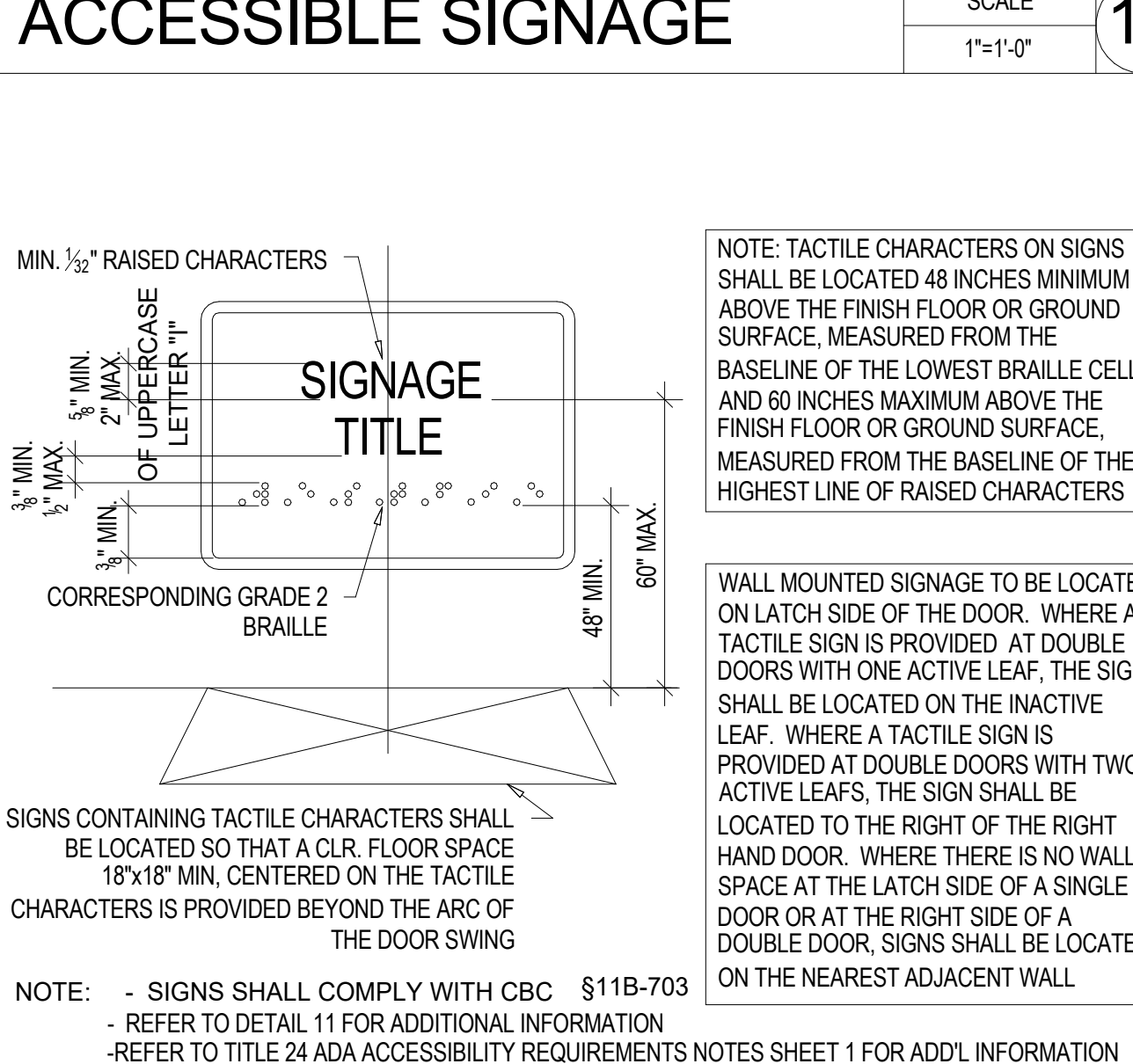
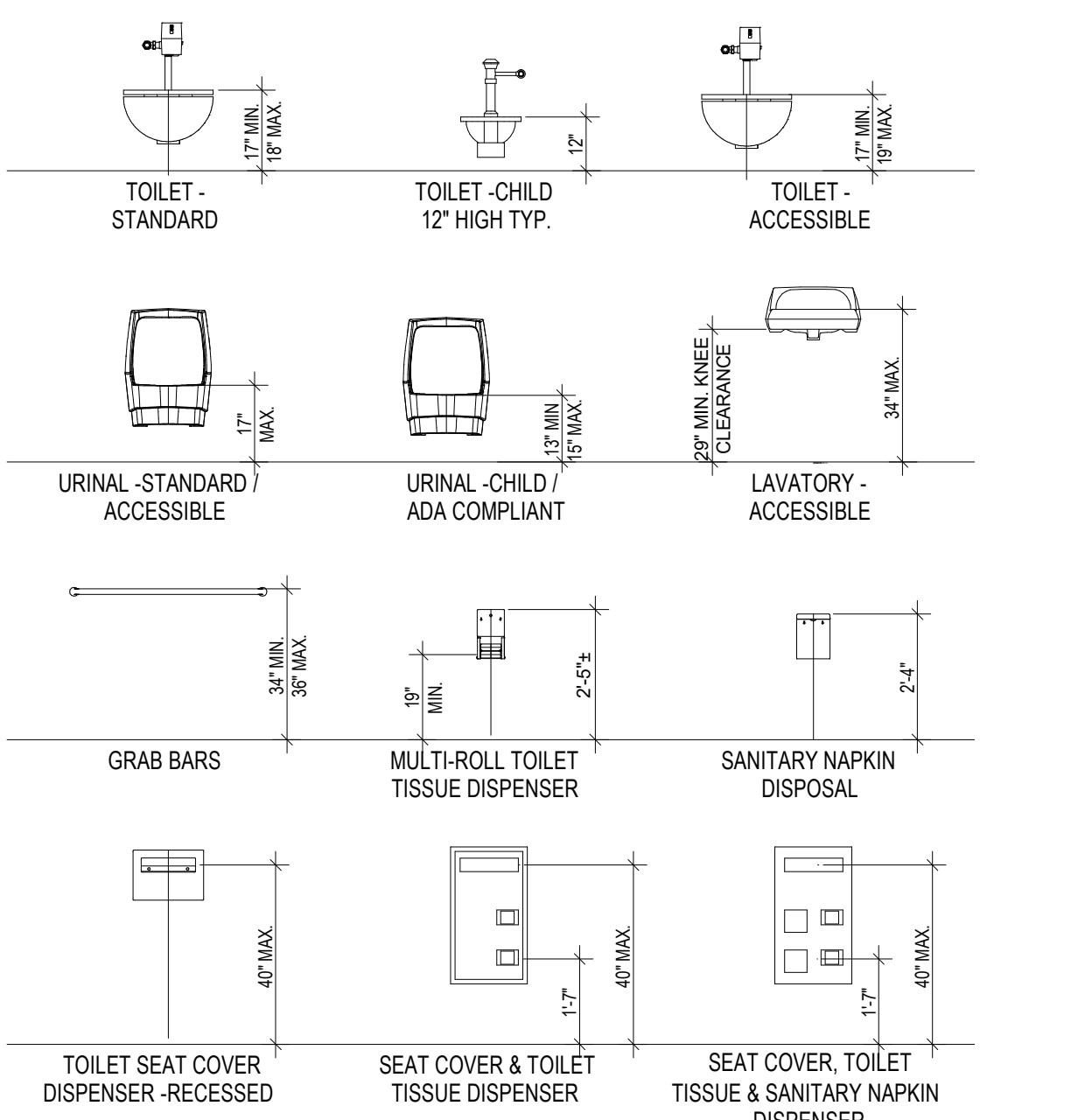
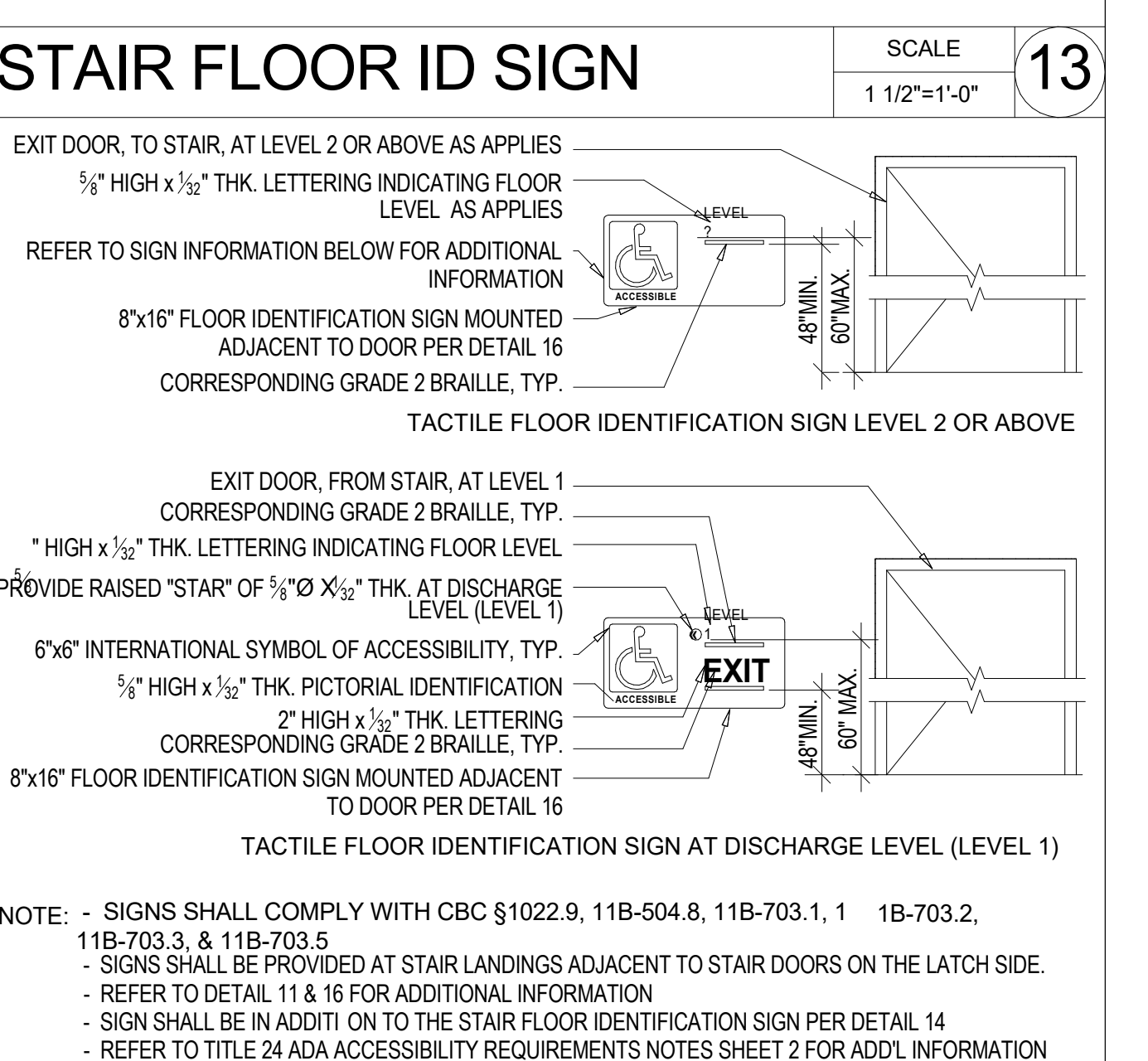
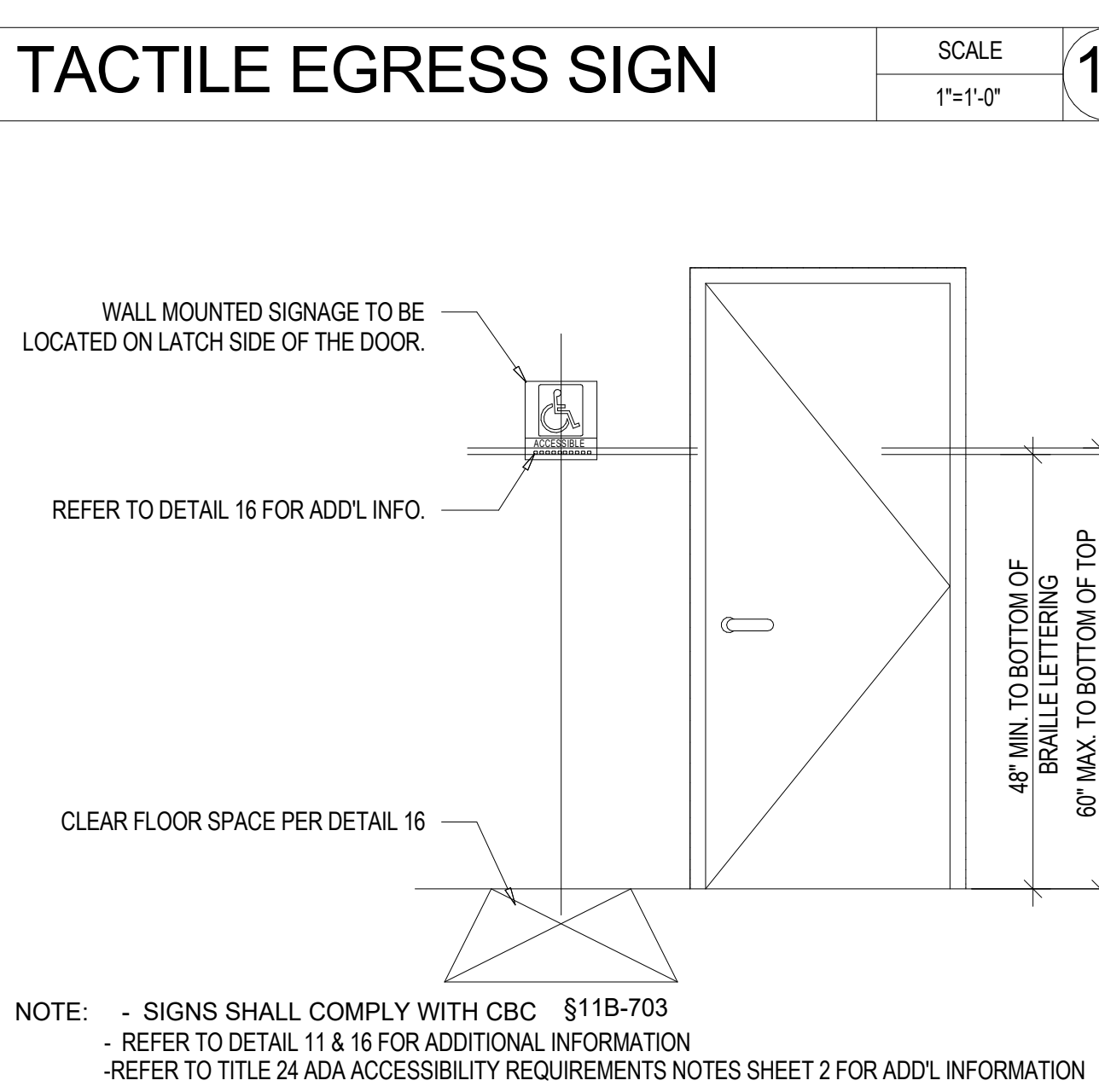
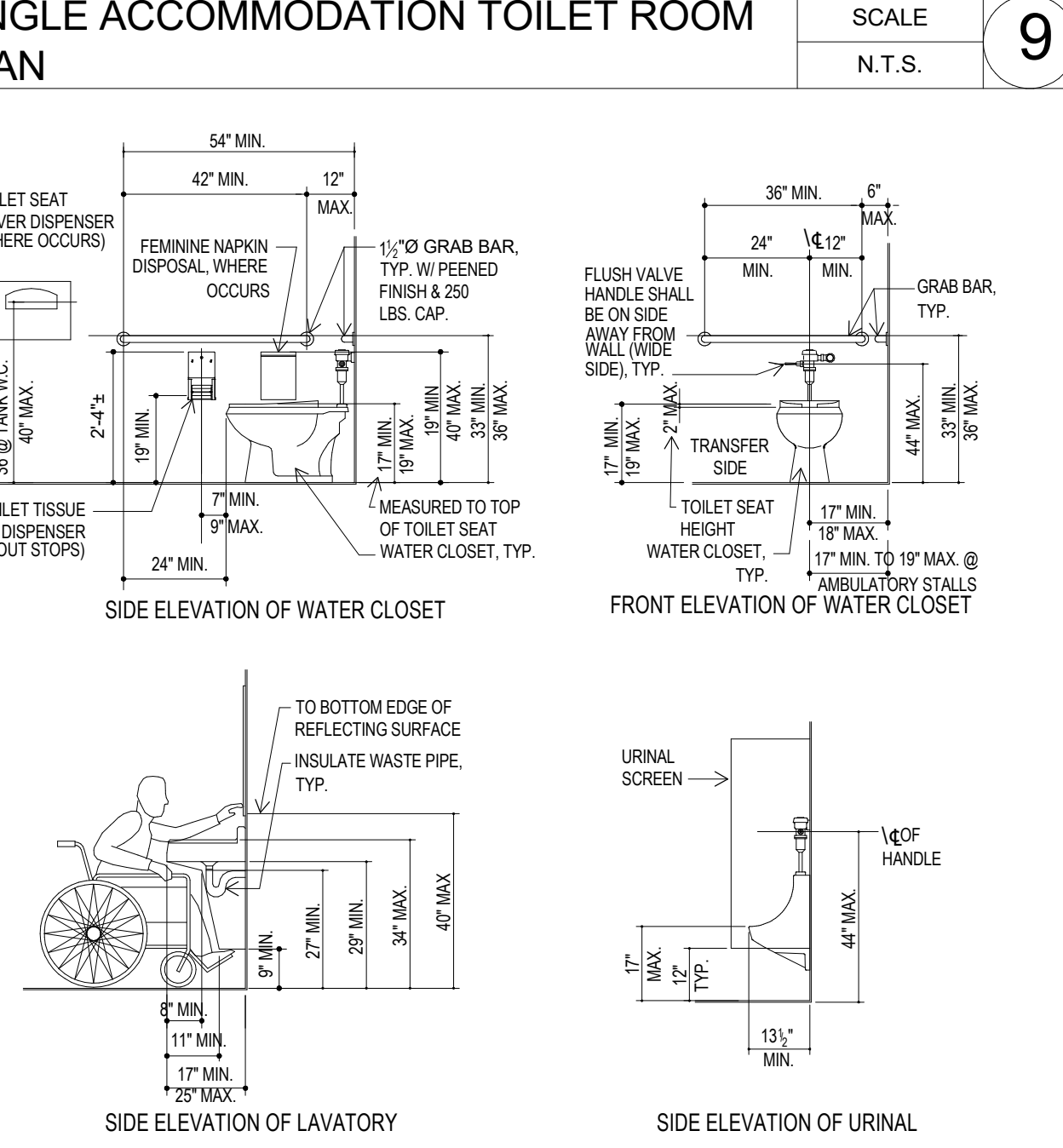
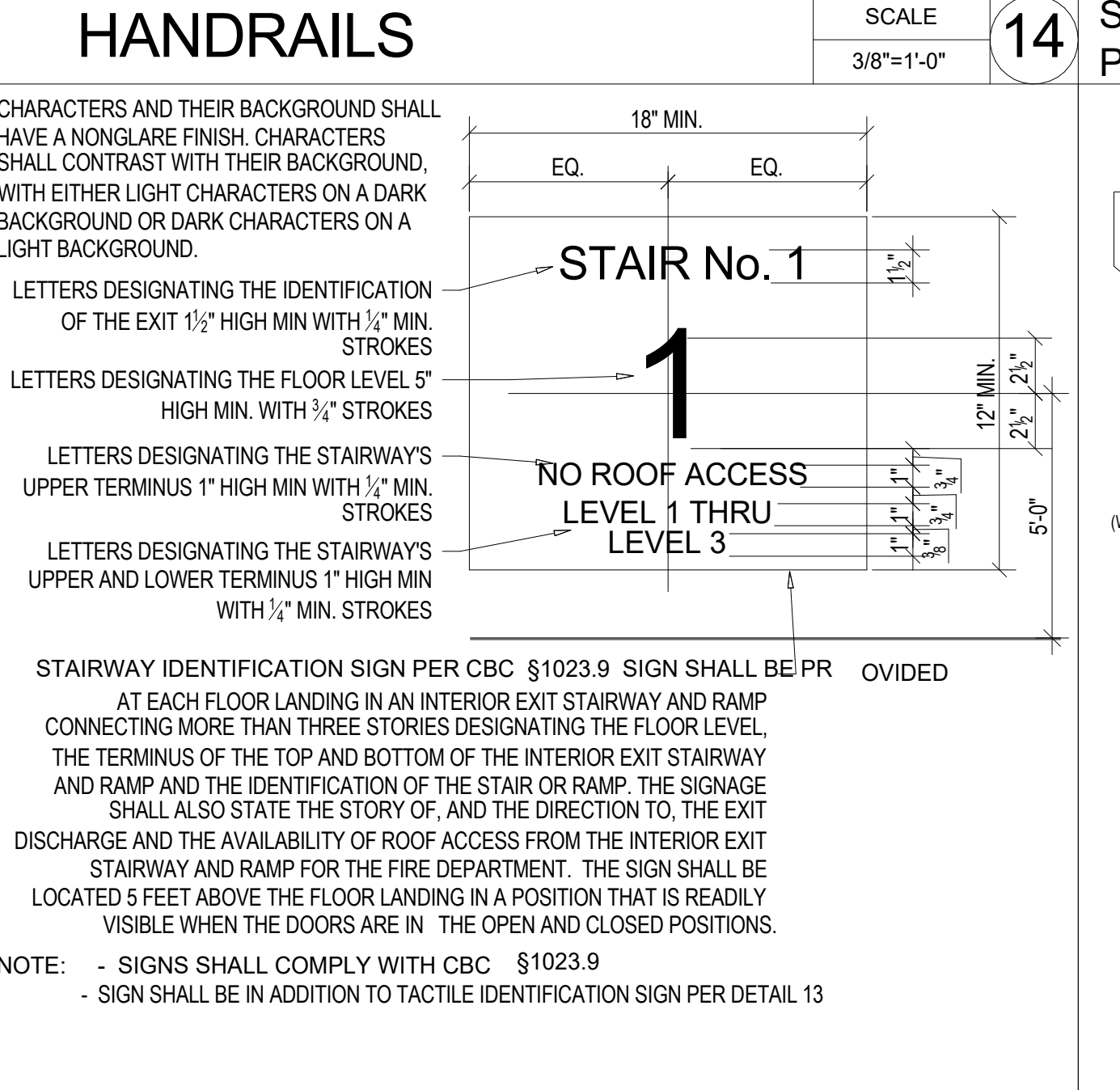
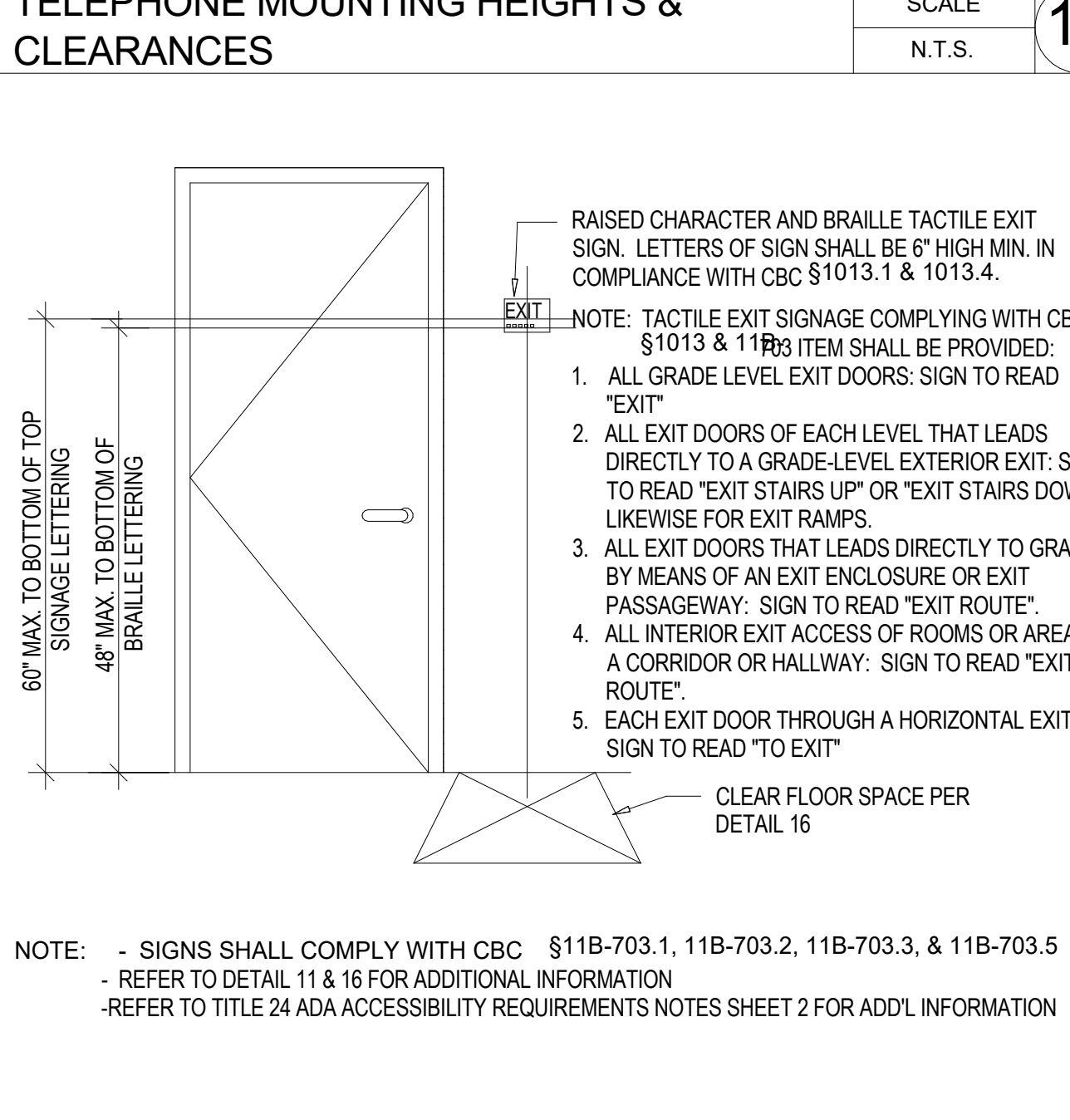
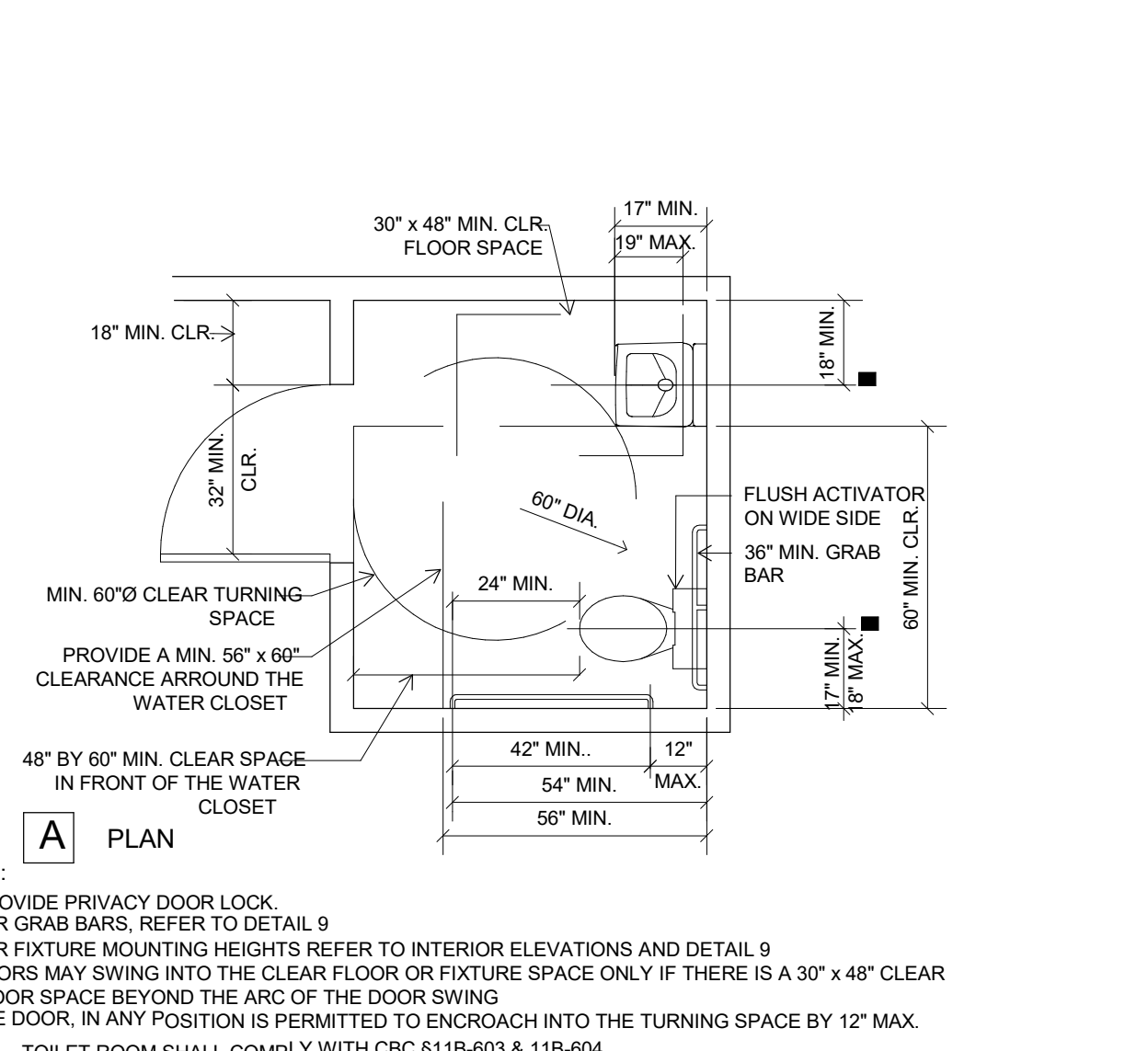
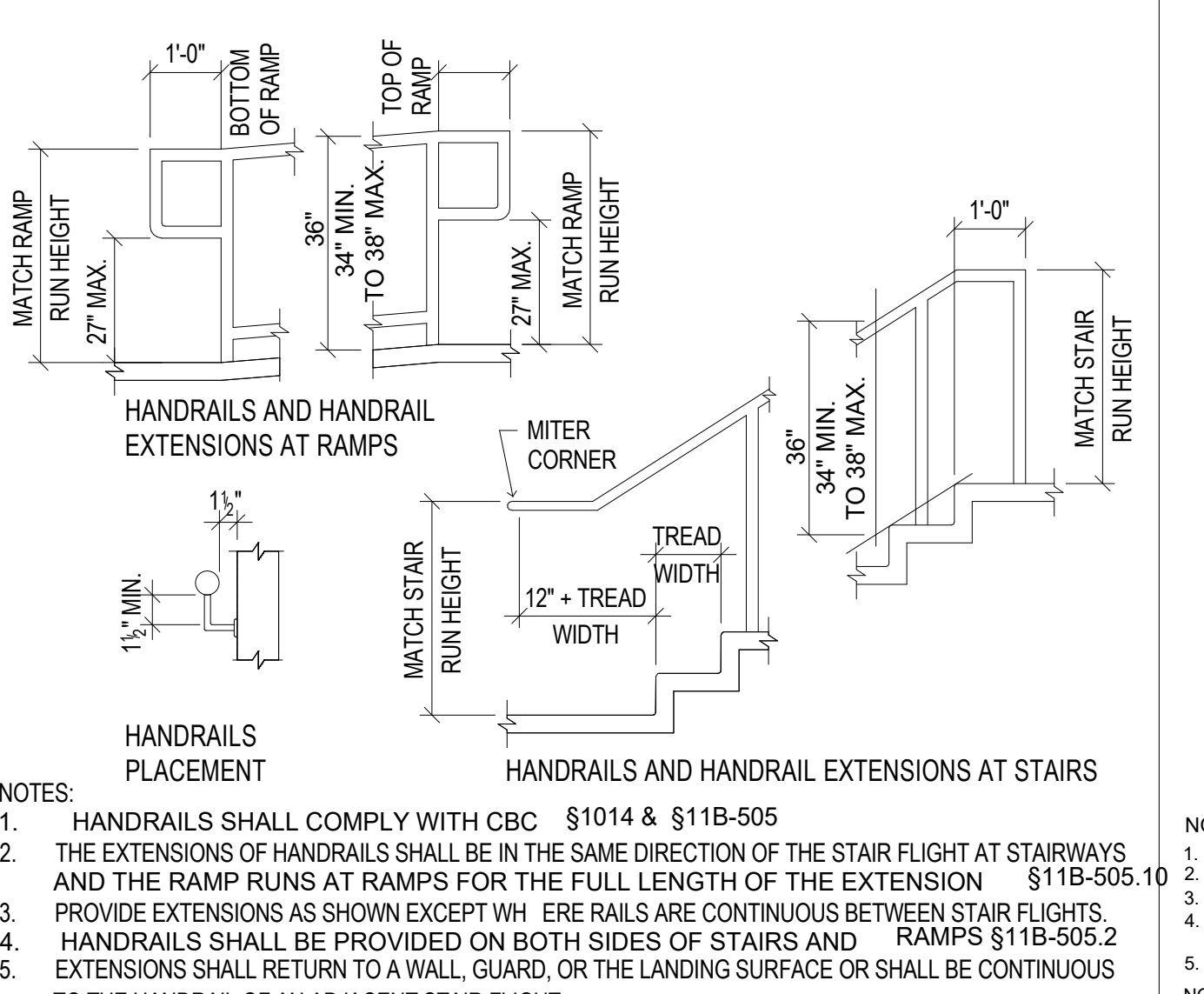
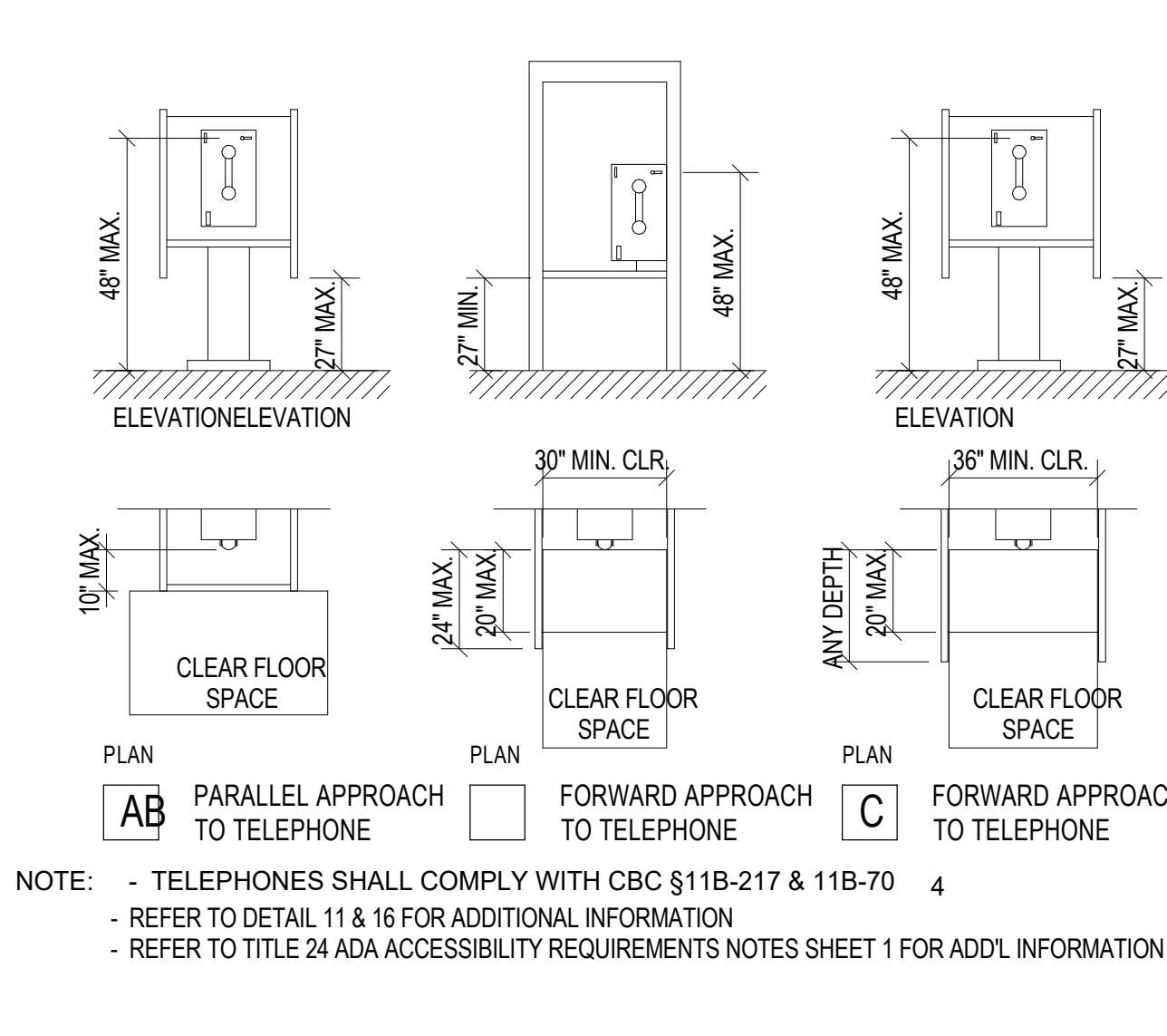
GD001

TELEPHONES

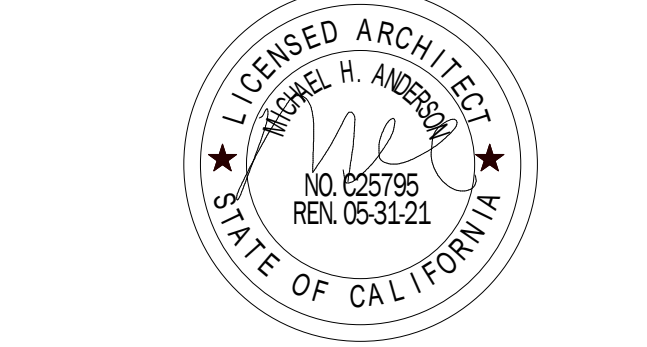
- WHERE COIN-OPERATED PUBLIC PAY TELEPHONES, CONCESSION PUBLIC PAY TELEPHONES, PUBLIC CLOSER-CIRCUIT TELEPHONES, PUBLIC COURTESY PHONES, OR OTHER TYPES OF PUBLIC TELEPHONES ARE PROVIDED, PUBLIC TELEPHONES SHALL BE PROVIDED IN ACCORDANCE WITH 11B-704.2. TELEPHONES FOR EACH TYPE OF PUBLIC TELEPHONE PROVIDED FOR PURPOSES OF THIS SECTION A BANK OF TELEPHONES SHALL BE CONSIDERED TO BE TWO OR MORE ADJACENT TELEPHONES. §11B-217.1
- EXCEPT DRIVE UP ONLY PUBLIC TELEPHONES, WHERE PUBLIC TELEPHONES ARE PROVIDED, WHEELCHAIR ACCESSIBLE TELEPHONES COMPLYING WITH 11B-704.2 SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 11B-217.2. §11B-217.2
- ALL PUBLIC TELEPHONES SHALL HAVE VOLUME CONTROLS COMPLYING WITH 11B-704.4. §11B-217.3
- TTYS COMPLYING WITH 11B-704.4 SHALL BE PROVIDED IN ACCORDANCE WITH 11B-217.4.
- WHERE A BANK OF TELEPHONES IN THE INTERIOR OF A BUILDING CONSISTS OF THREE OR MORE PUBLIC PAY TELEPHONES, AT LEAST ONE PUBLIC PAY TELEPHONE AT THE BANK SHALL BE PROVIDED WITH A SHELF AND AN ELECTRICAL OUTLET IN ACCORDANCE WITH 11B-704.5. §11B-217.5 (SEE EXCEPTIONS)
- WHEELCHAIR ACCESSIBLE TELEPHONES SHALL COMPLY WITH CBC 2016 §11B-704.2
- OPERABLE PARTS SHALL COMPLY WITH CBC 2016 §11B-704.2.2. TELEPHONES SHALL HAVE PUSH-BUTTON CONTROLS WHERE SUCH SERVICE IS AVAILABLE.
- TELEPHONE DIRECTORIES, WHERE PROVIDED, SHALL BE LOCATED IN ACCORDANCE WITH CBC 2016 §11B-509
- HANDESET CORD LENGTH SHALL BE IN ACCORDANCE WITH CBC 2016 §11B-704.2.4
- VOLUME CONTROLS SHALL COMPLY WITH CBC 2016 §11B-704.3
- TTYS PROVIDED AT PUBLIC PAY TELEPHONES SHALL COMPLY WITH CBC 2016 §11B-704.2.4. THE TOUCH SURFACE OF TTY KEYPADS SHALL BE 3/4" MINIMUM ABOVE THE FINISH FLOOR EXCEPT WHEN SEATS ARE PROVIDED.
- TTY SHELF SHALL COMPLY WITH CBC 2016 §11B-704.5



SIGNS & PICTOGRAMS SCALE N.T.S. 10

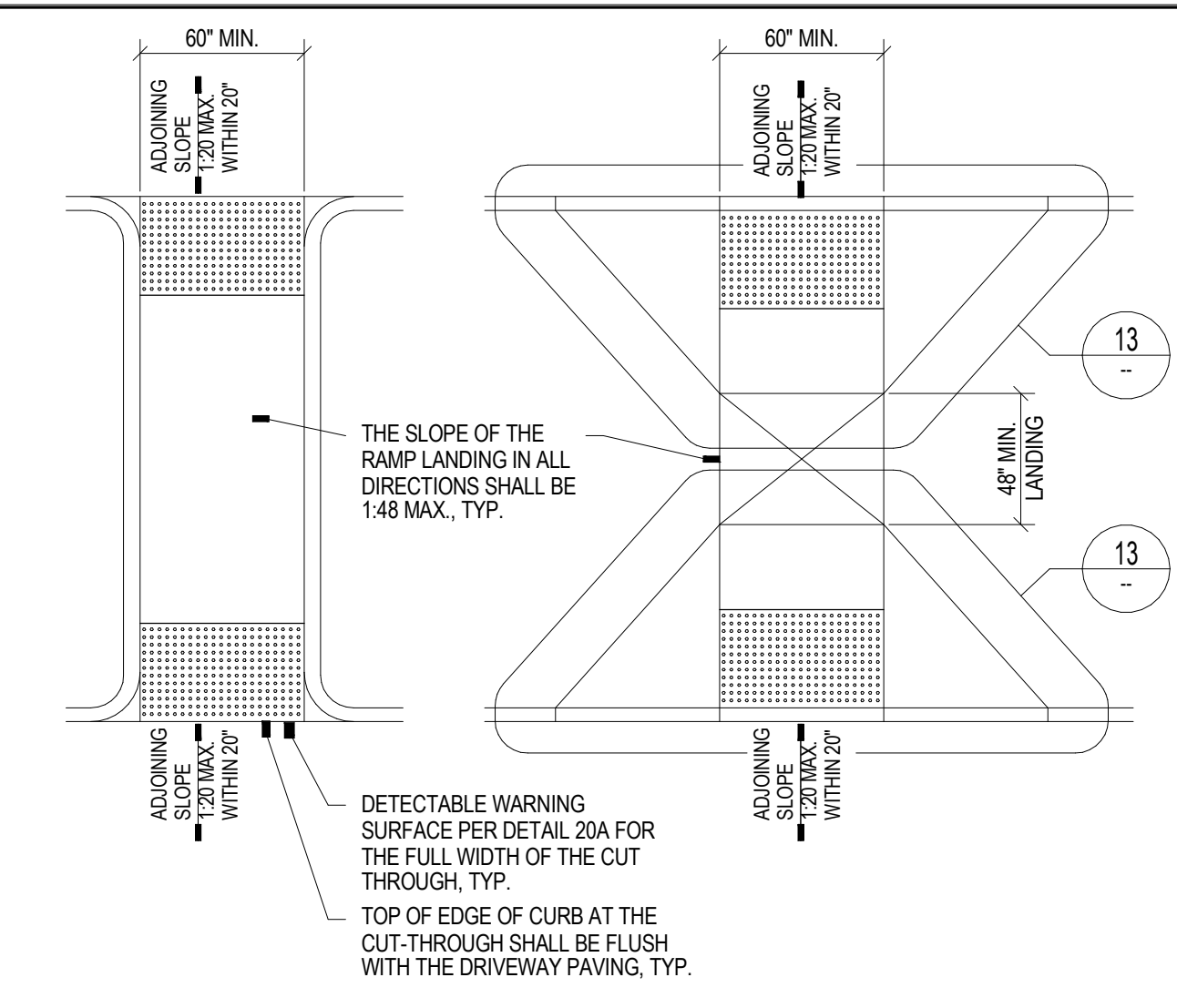


SCALE N.T.S. 1

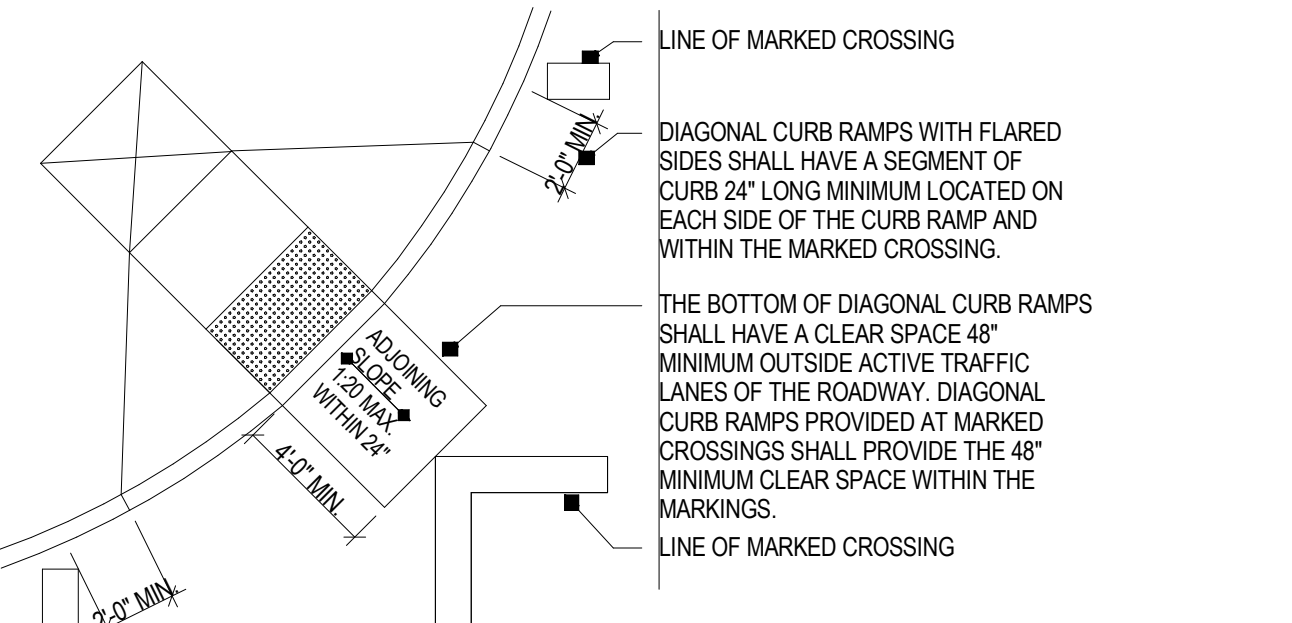


Each Construction Issue prepared by the Architect describes a portion of the Work required for the total Project. Each Construction Issue may contain one or more Bid Packages or Work Categories as defined by the Owner. A Construction Issue may modify a previously issued document & when issued, supersedes all previous Construction Issues & Modification Documents containing the same document. Individual Construction Issues by their nature are partial Contract Documents & based in part on preliminary or otherwise incomplete information. It is the Contractor's responsibility to augment each Construction Issue using techniques, including unit pricing allowances, & alternatives, to provide a complete scope of work. Due to the refinement & detailing necessary from time to time in order to develop the final Contract Documents, the Contractor shall review all Construction Issues & coordinate the information given in subsequent Construction Issues with that given in earlier Construction Issues.

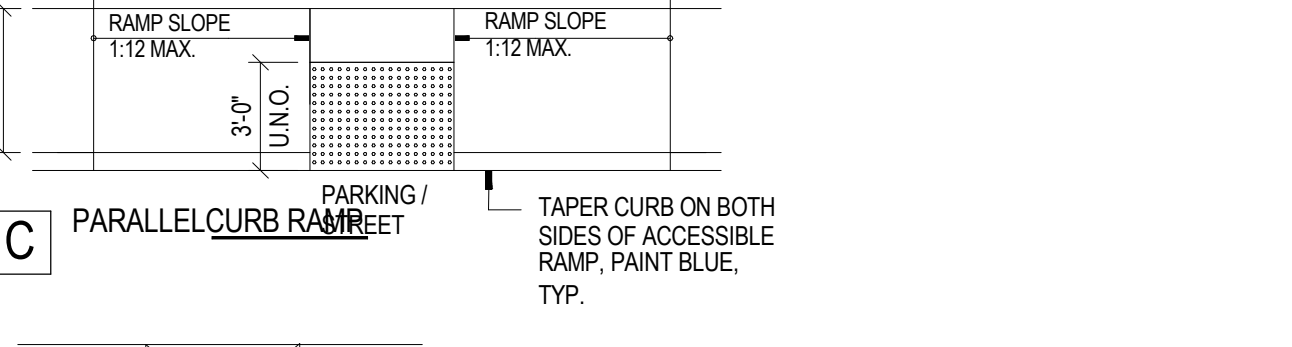
NO.	DATE	DESCRIPTION
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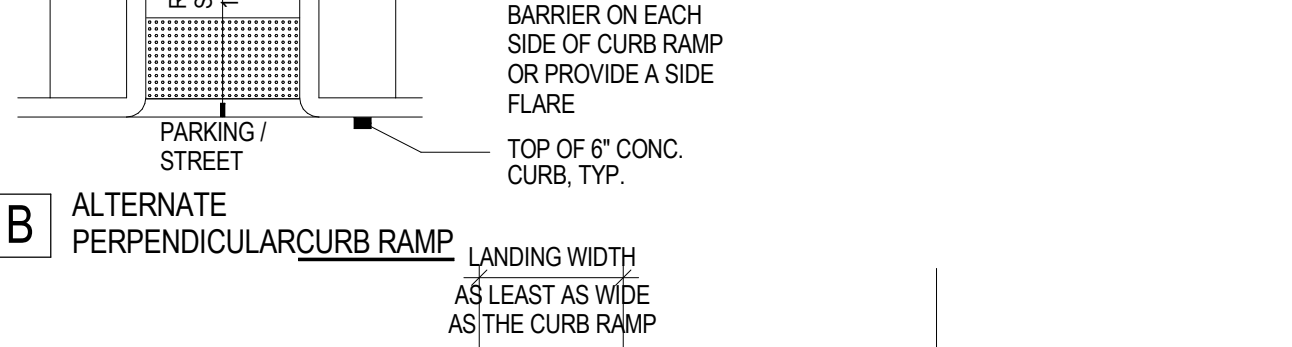
ACCESSIBLE ISLAND CURB RAMPS SCALE N.T.S. 11



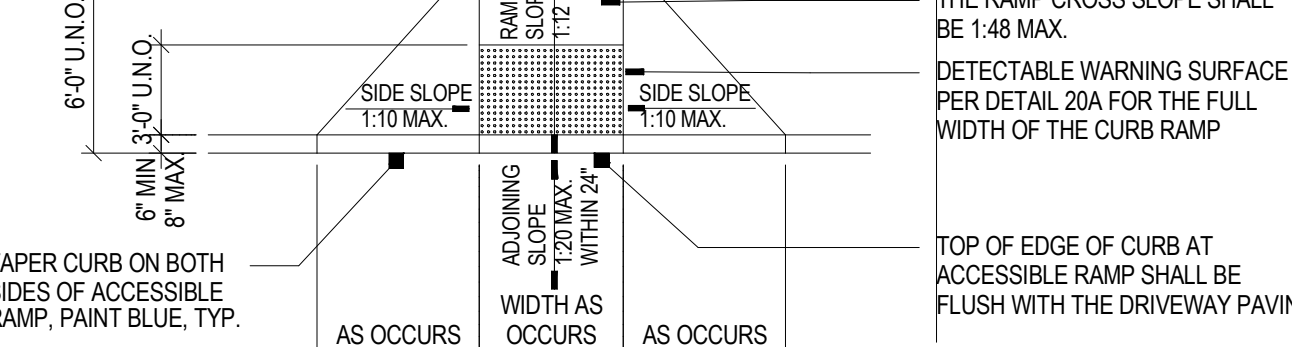
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PARALLEL CURB RAMP SCALE N.T.S. 11

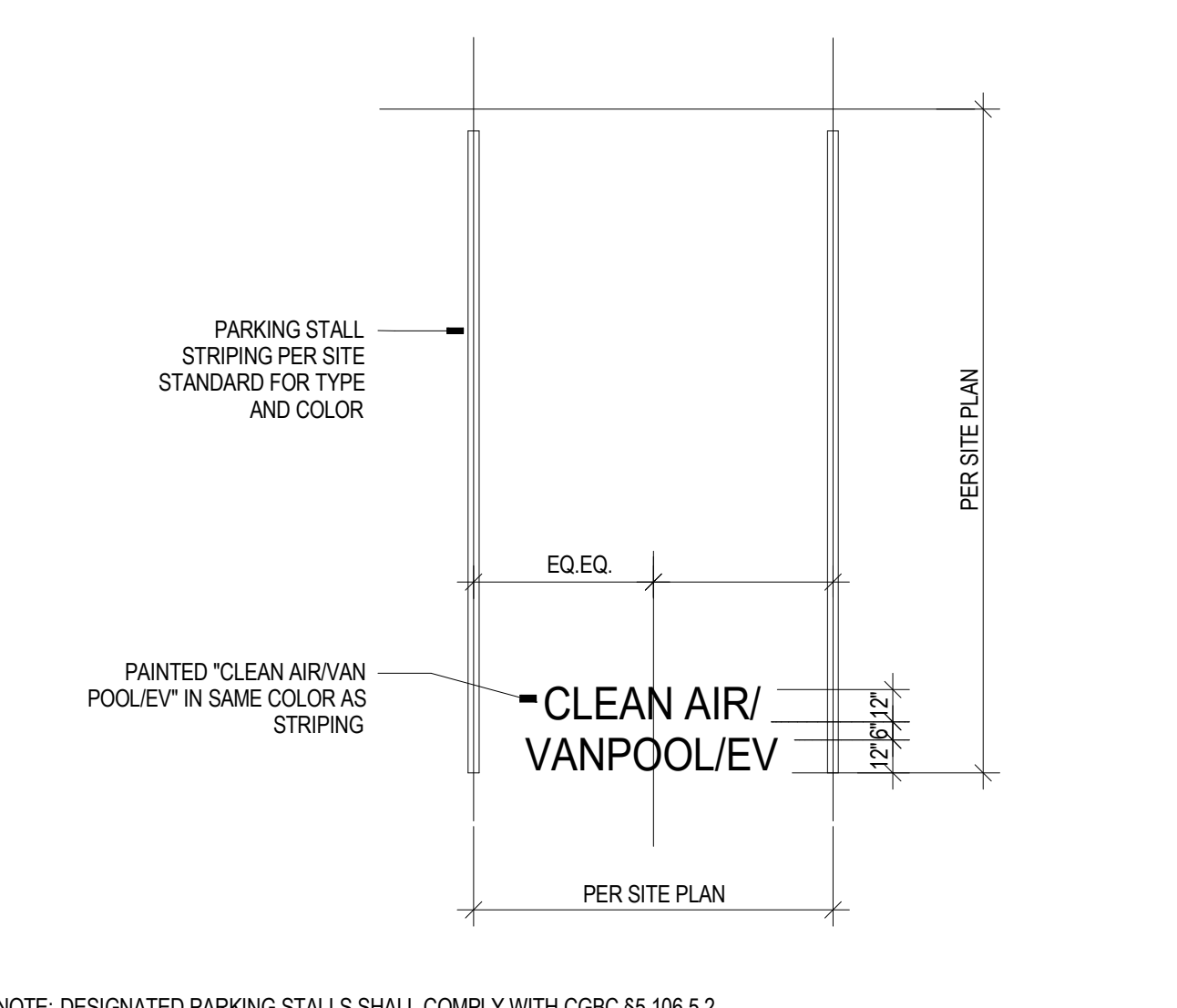


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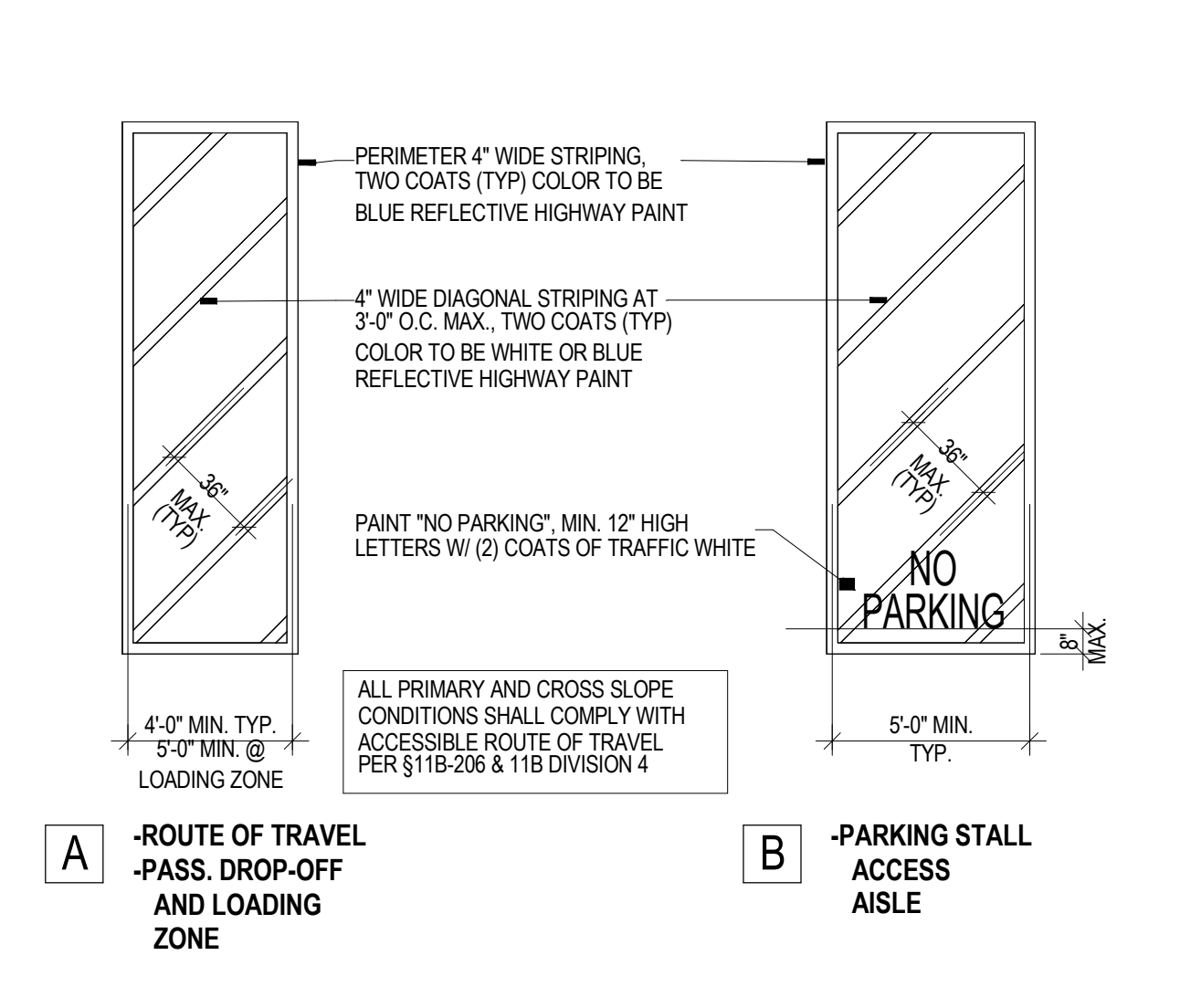


PERPENDICULAR CURB RAMP SCALE N.T.S. 11

CURB RAMPS SCALE N.T.S. 10

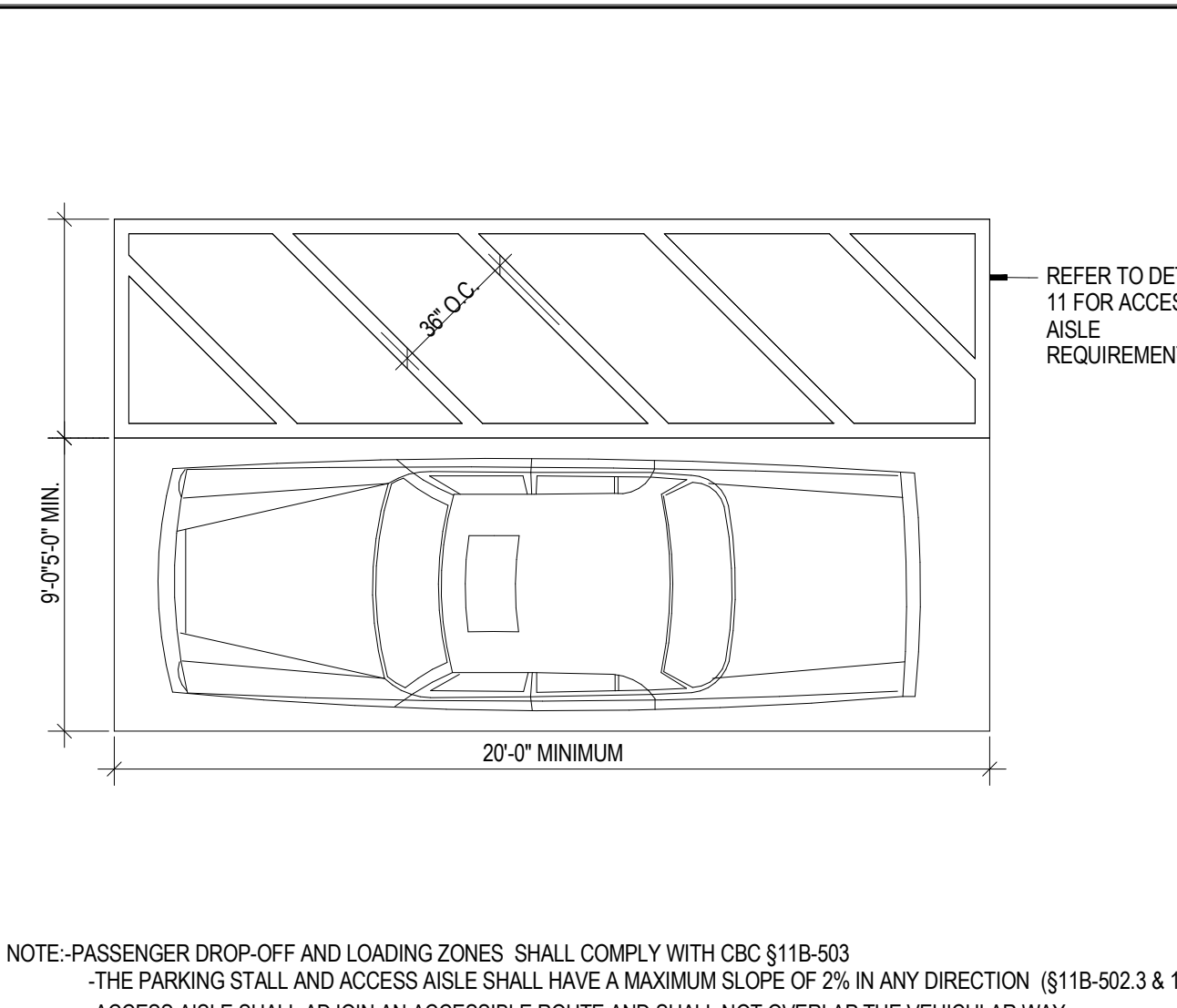


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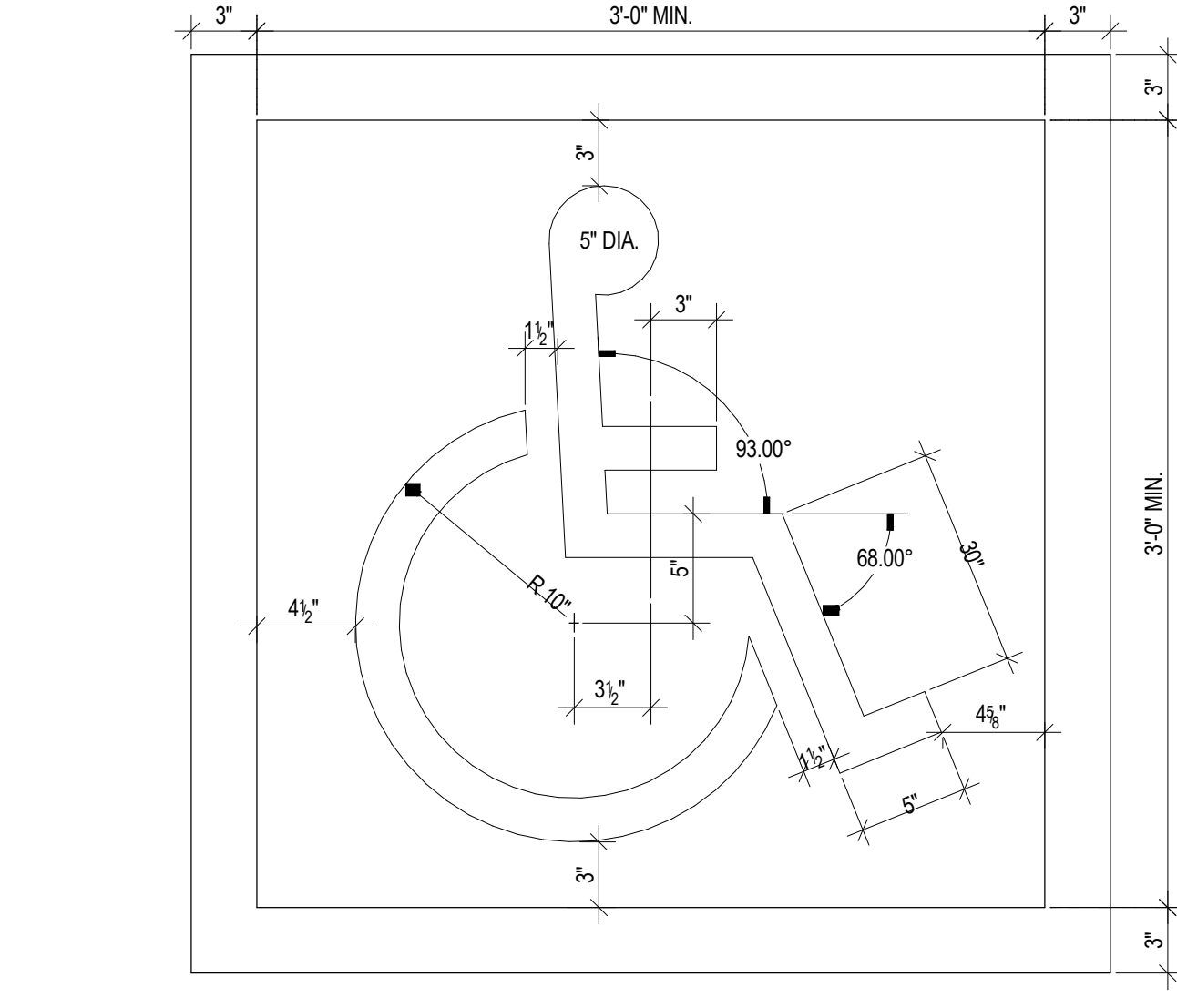


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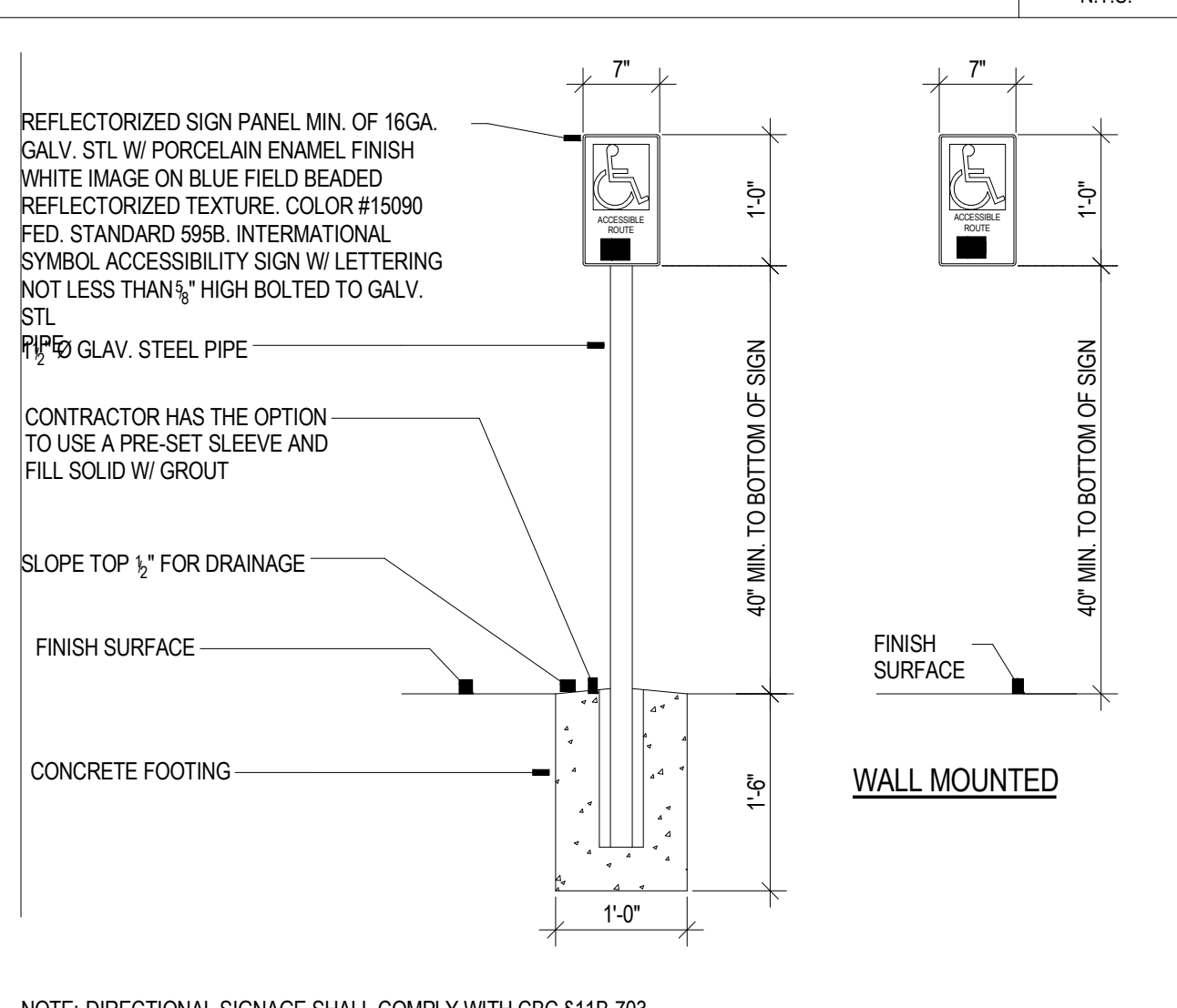
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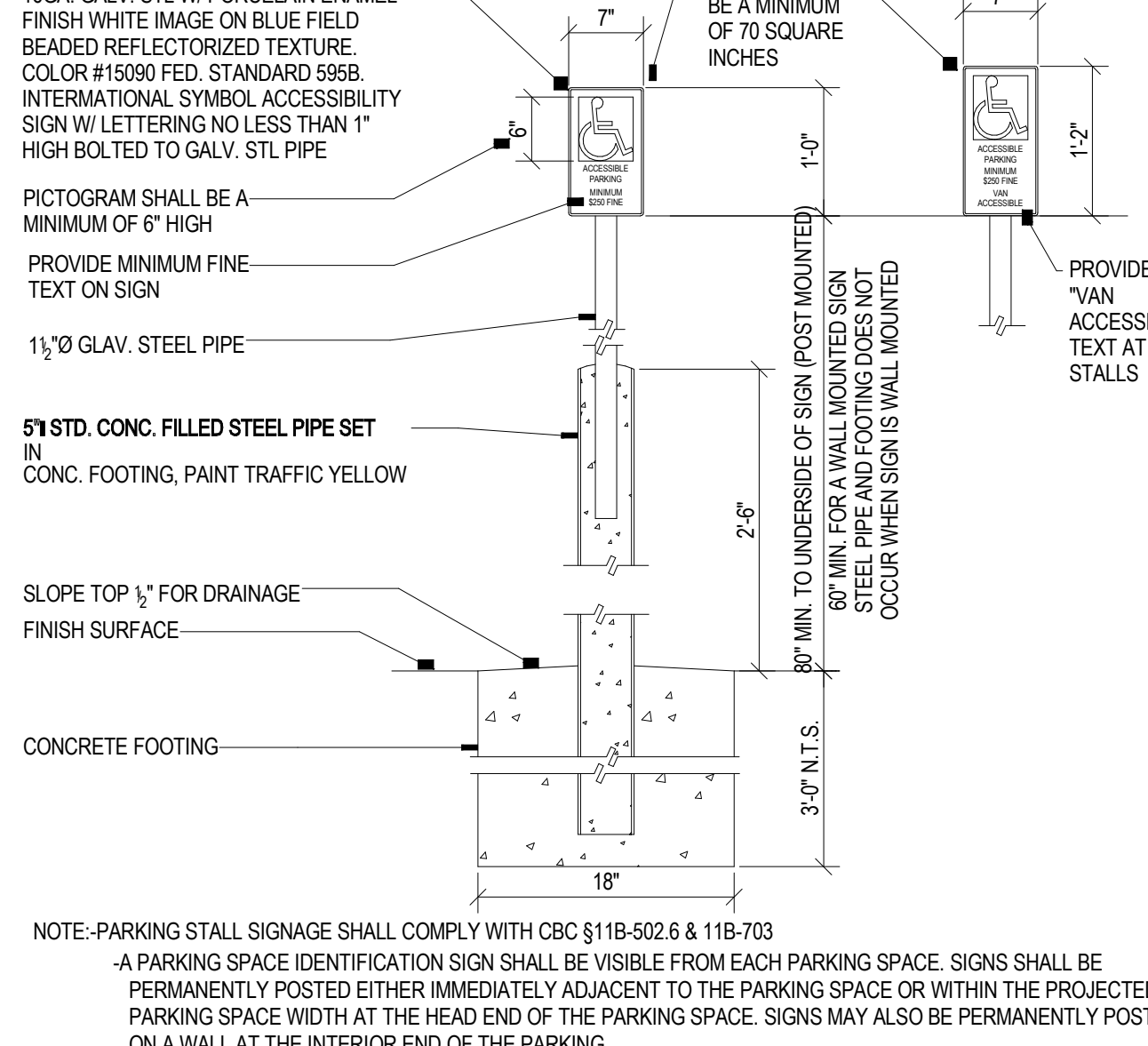
ACC. DROP-OFF & LOADING ZONES SCALE N.T.S. 7



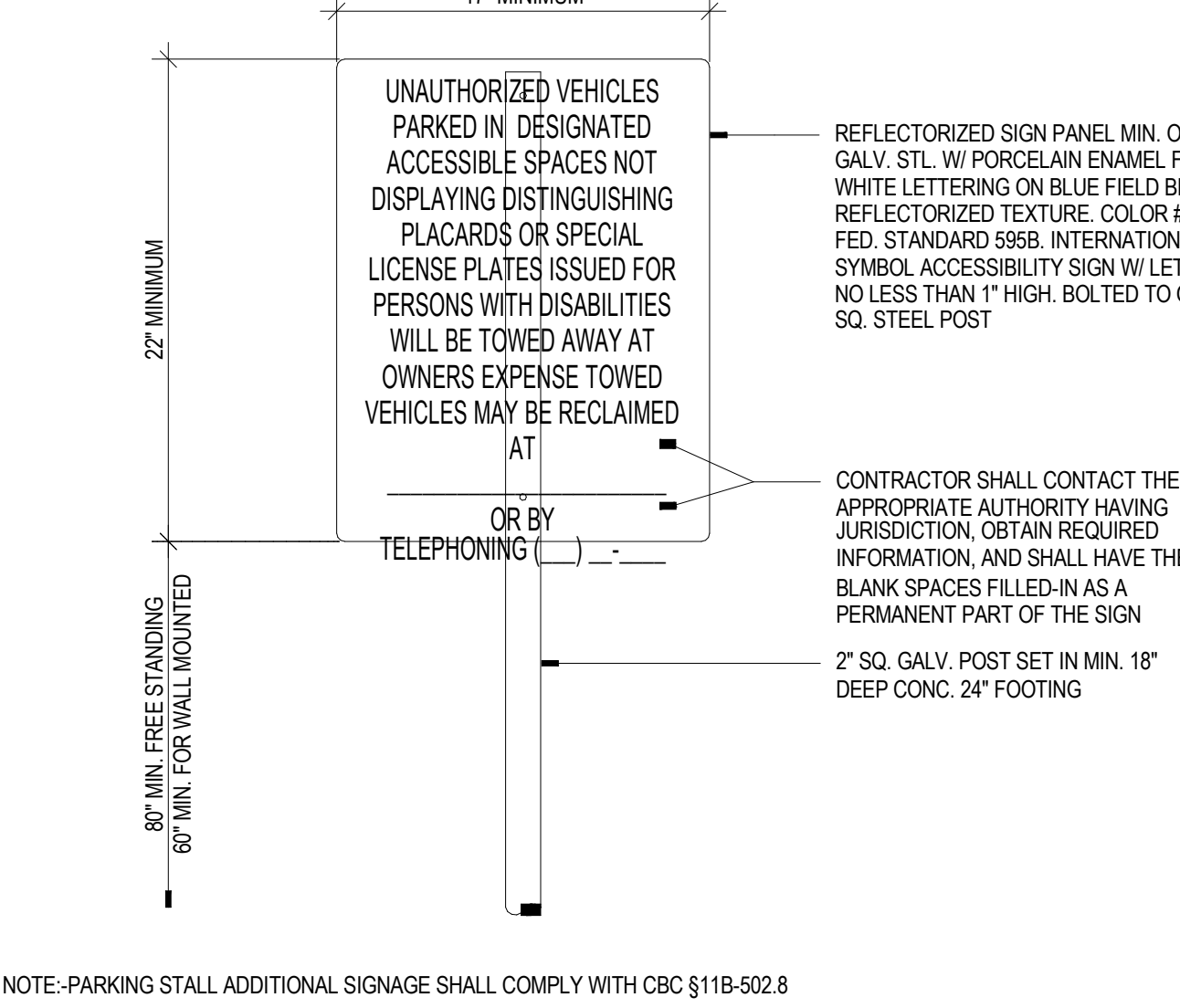
ACCESSIBLE PARKING SYMBOL SCALE N.T.S. 6



ACC. PATH DIRECTIONAL SIGN SCALE 3/4"=1'-0" 5

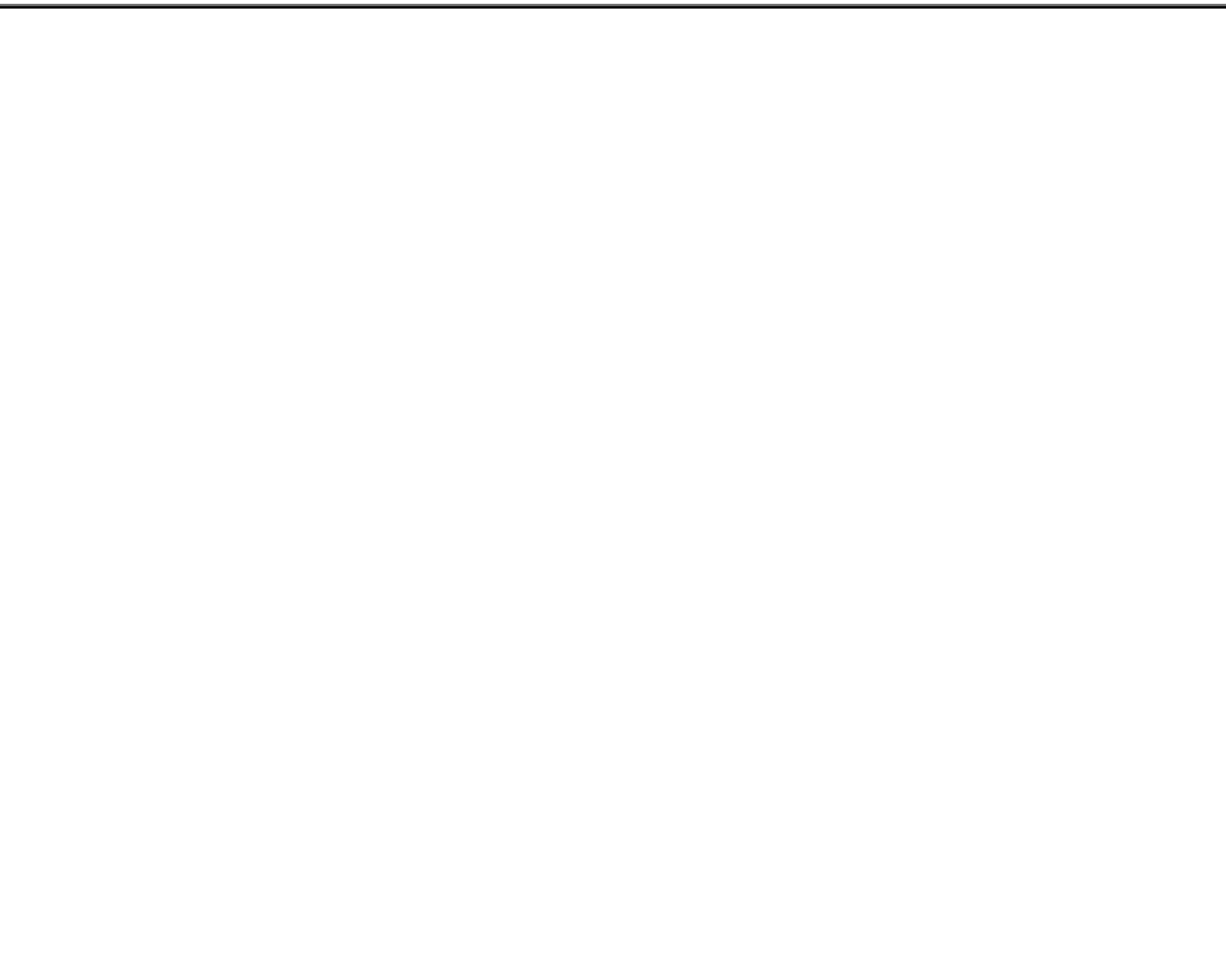


ACCESSIBLE PARKING SIGNS SCALE 3/4"=1'-0" 4

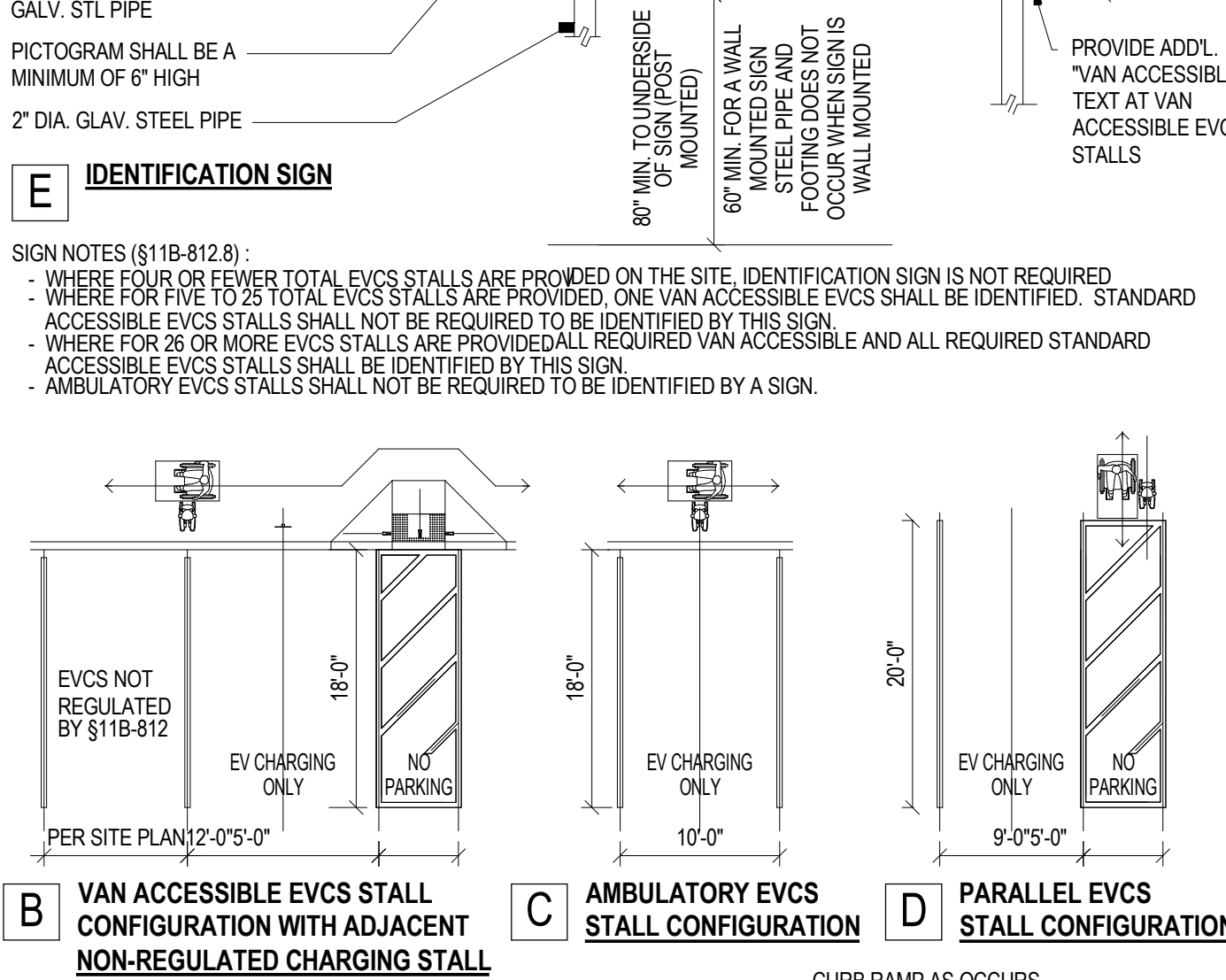


SITE ACCESSIBLE ADDITIONAL SIGN SCALE N.T.S. 3

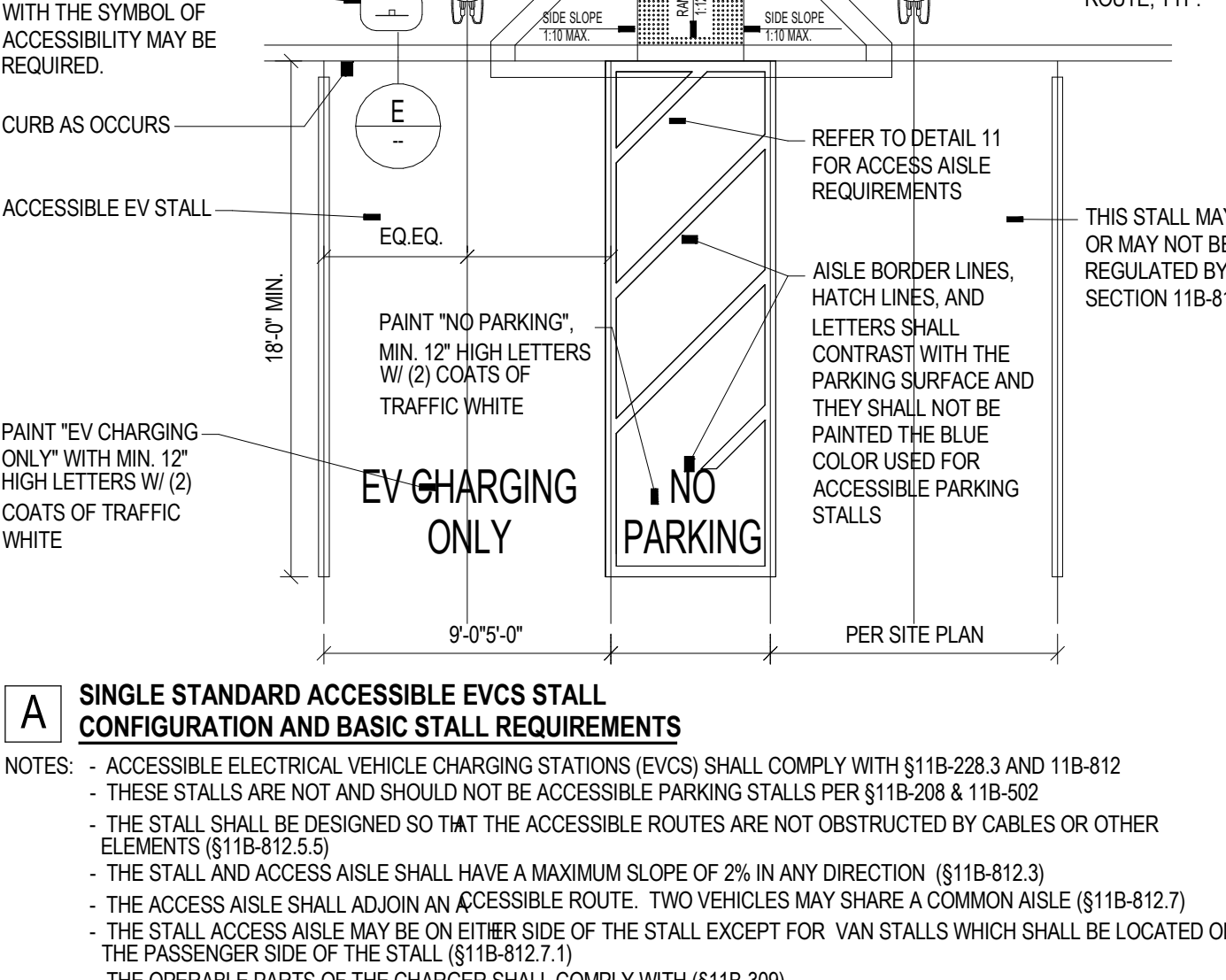
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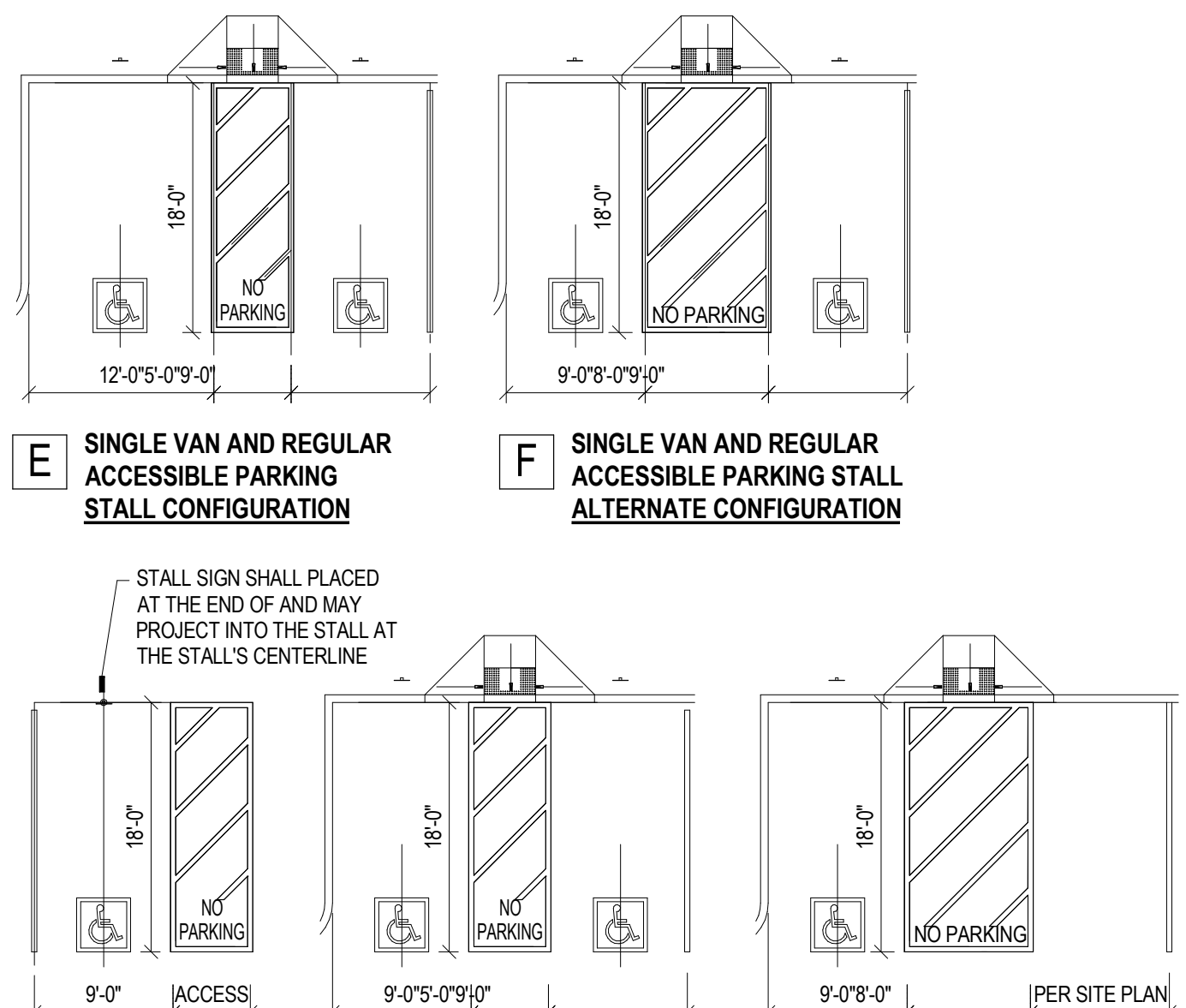
VAN ACCESSIBLE EVCS STALL CONFIGURATION WITH ADJACENT NON-REGULATED CHARGING STALL SCALE N.T.S. 2



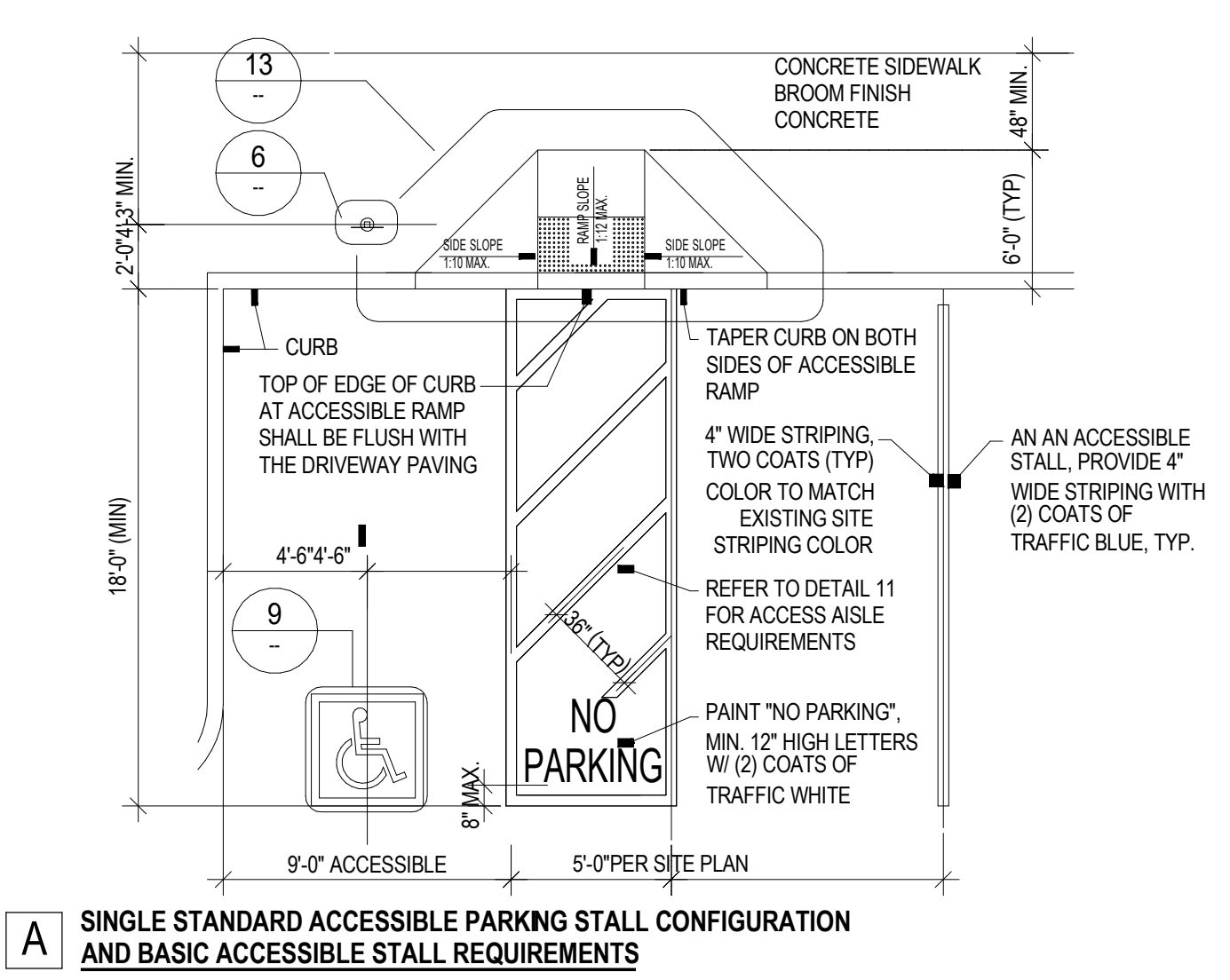
AMBULATORY EVCS STALL CONFIGURATION SCALE N.T.S. 2



PARALLEL EVCS STALL CONFIGURATION SCALE N.T.S. 2



SINGLE STANDARD ACCESSIBLE EVCS STALL CONFIGURATION AND BASIC STALL REQUIREMENTS SCALE N.T.S. 2



SINGLE VAN AND REGULAR ACCESSIBLE PARKING STALL ALTERNATE CONFIGURATION SCALE N.T.S. 2

SINGLE ACCESSIBLE PARKING STALL SCALE N.T.S. 1

ICC# ESR-1464 (1/20)

ICC-ES Evaluation Report ESR-1464. Report is subject to renewal January 2022. DIVISION 05 00 00-METALS. Section 05 00 00-Cold-Formed Metal Framing. DIVISION 05 00 00-FINISHES. Section 05 00 00-Non-Structural Metal Stud Framing.

ICC# ESR-1464 (2/20)

ICC-ES Evaluation Report ESR-1464. Report is subject to renewal January 2022. DIVISION 05 00 00-METALS. Section 05 00 00-Cold-Formed Metal Framing. DIVISION 05 00 00-FINISHES. Section 05 00 00-Non-Structural Metal Stud Framing.

ICC# ESR-1464 (3/20)

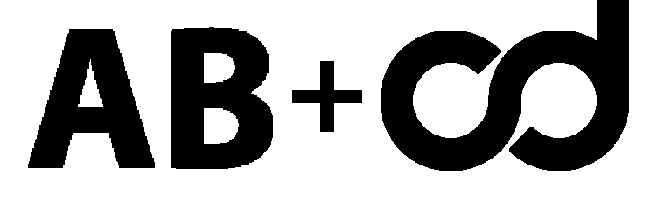
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ICC# ESR-1464 (18/20)

ICC-ES Evaluation Report ESR-1464 CBC Supplement. Report is subject to renewal January 2022. DIVISION 05 00 00-METALS. Section 05 00 00-Non-Structural Metal Stud Framing.

ICC# ESR-1464 (19/20)

ICC-ES Evaluation Report ESR-1464 CBC Supplement. Report is subject to renewal January 2022. DIVISION 05 00 00-METALS. Section 05 00 00-Non-Structural Metal Stud Framing.



PROJECT KING SOLOMON VILLAGE

CLIENT 1 CLIENT 2 REPRESENTATIVE

ARCHITECT 1

ANDERSON BARKER ARCHITECTS ARCHITECTURE

CITY DESIGN STUDIO ARCHITECTURE

SECONDARY DESIGNERS

ENGINEER 1

ENGINEER 2

ICC# ESR-1464 (20/20)

ICC-ES Evaluation Report ESR-1464 FBC Supplement. Report is subject to renewal January 2022. DIVISION 05 00 00-METALS. Section 05 00 00-Cold-Formed Metal Framing. DIVISION 05 00 00-FINISHES. Section 05 22 12.13-Non-Structural Metal Stud Framing.

LARR# 25948 (1/2)

RESEARCH REPORT: RR 25948 (CS3 # 00055). REEVALUATION DUE DATE: December 1, 2021. REEVALUATION DUE DATE: December 1, 2021. REEVALUATION DUE DATE: December 1, 2021.

ICC# ESR-1464 (3/20)

ICC-ES Evaluation Report ESR-1464. Report is subject to renewal January 2022. DIVISION 05 00 00-METALS. Section 05 00 00-Cold-Formed Metal Framing. DIVISION 05 00 00-FINISHES. Section 05 00 00-Non-Structural Metal Stud Framing.

LARR# 26019 (1/8)

RESEARCH REPORT: RR 26019 (CS3 # 00218). REEVALUATION DUE DATE: January 1, 2023. REEVALUATION DUE DATE: January 1, 2023. REEVALUATION DUE DATE: January 1, 2023.

CertainTeed TYPE X Gypsum Board Flame Spread (1/2)

CertainTeed Type X Gypsum Board. Product Description: CertainTeed Type X Gypsum Board is a fire-resistant gypsum board... Advantages: Fire ratings up to four hours. Consistently high quality. Uniformity, stability, appearance; no shrinkage.

CertainTeed TYPE X Gypsum Board Flame Spread (2/2)

CertainTeed TYPE X Gypsum Board Flame Spread (2/2). Surface Burning Characteristics: CertainTeed Type X Gypsum Board has a Flame Spread Rating of 0 to 25... Installation: For installation, refer to the CertainTeed TYPE X Gypsum Board Installation Manual.

ICC-ES AC13 (1/27)

ICC-ES Evaluation Report ESR-1464. Report is subject to renewal January 2022. DIVISION 05 00 00-METALS. Section 05 00 00-Cold-Formed Metal Framing. DIVISION 05 00 00-FINISHES. Section 05 00 00-Non-Structural Metal Stud Framing.

ICC-ES AC13 (2/27)

ICC-ES Evaluation Report ESR-1464. Report is subject to renewal January 2022. DIVISION 05 00 00-METALS. Section 05 00 00-Cold-Formed Metal Framing. DIVISION 05 00 00-FINISHES. Section 05 00 00-Non-Structural Metal Stud Framing.

ICC-ES AC13 (24/27)

ICC-ES Evaluation Report ESR-1464. Report is subject to renewal January 2022. DIVISION 05 00 00-METALS. Section 05 00 00-Cold-Formed Metal Framing. DIVISION 05 00 00-FINISHES. Section 05 00 00-Non-Structural Metal Stud Framing.

ATTORNEY - CLIENT PRIVILEGED CONFIDENTIAL COMMUNICATION

CONSTRUCTION DOCUMENTS

Table with 3 columns: ISSUE / REVISION, DATE, DESCRIPTION. Row 1: 05/13/21, CD 9/75.

KEY PLAN



PROJECT NUMBER

SHEET TITLE

GENERAL DOCUMENTS

SHEET NUMBER GD003

ATTACHMENT 2

Notice of Exemption (NOE)

Home Key - VOALA Long Beach Ave Homeless Shelter

**CITY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUREAU OF ENGINEERING
1149 S. BROADWAY, 7th FLOOR
LOS ANGELES, CALIFORNIA 90015
CALIFORNIA ENVIRONMENTAL QUALITY ACT
NOTICE OF EXEMPTION**

(Articles II and III – City CEQA Guidelines)

Submission of this form is optional. The form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, California, 90650, pursuant to Public Resources Code Section 21152(b). Pursuant to Public Resources Code Section 21167(d), the filing of this notice starts a 35-day statute of limitations on court challenges to the approval of the project.

LEAD CITY AGENCY AND ADDRESS: City of Los Angeles c/o Bureau of Engineering (BOE) 1149 S. Broadway, MS 939 Los Angeles, CA 90015	COUNCIL DISTRICT 9
--	------------------------------

PROJECT TITLE: Home Key - VOALA Long Beach Ave Homeless Shelter (Project)	LOG REFERENCE C.F. 21-0974
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PROJECT LOCATION: 2521 - 2525 Long Beach Avenue in the Southeast Los Angeles Community Plan Area of the City of Los Angeles (City), Los Angeles County. See Figure 1, Project Location. T.G. 674 G2

DESCRIPTION OF NATURE, PURPOSE, AND BENEFICIARIES OF PROJECT: The Project consists of tenant improvements to two existing warehouse buildings and ancillary areas for use as a homeless shelter with approximately 150 beds, 60 in the 2521 Long Beach Avenue building and 90 in the 2525 Long Beach Avenue building; for people experiencing homelessness. Tenant improvements include, the installation of dormitory partitions, doors, windows, fire sprinkler and fire alarm systems; restrooms and showers, including ADA compliant stalls, laundry facilities, kitchen, eating area, staff office space, storage space, plumbing and electrical upgrades, and interior painting. A third-party service provider will operate the Project for the City. The purpose of the Project is to provide emergency shelter for people experiencing homelessness to help bridge their transition from living on the streets to finding services and, ultimately, living in transitional and/or permanent housing. Project beneficiaries include the homeless community, the public, and local businesses. (Please see the attached narrative for more details.) On _____, 2021, the City Council determined the Project was exempt under the California Environmental Quality Act (CEQA) and approved the Project.

CONTACT PERSON Maria Martin (Maria.Martin@lacity.org)	TELEPHONE NUMBER (213) 485-5753
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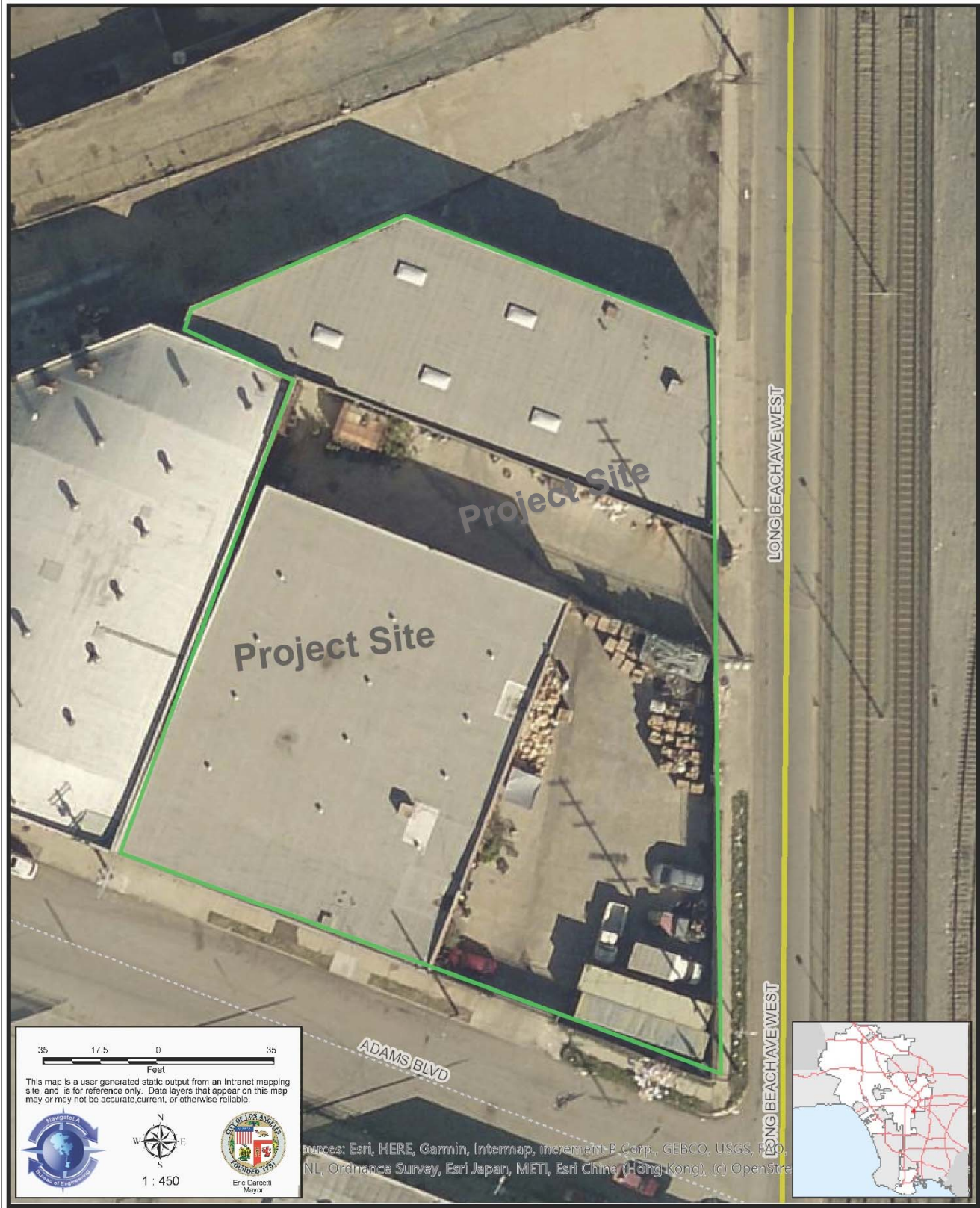
EXEMPT STATUS:	<u>CITY CEQA GUIDELINES</u>	<u>STATE CEQA GUIDELINES</u>	<u>CA PUBLIC RESOURCE CODE</u>
<input checked="" type="checkbox"/> STATUTORY		15269(c)	21080(b)(4) & 21080.27
<input checked="" type="checkbox"/> Governor's Executive Order No. N-32-20 (March 18, 2020) suspending CEQA "for any project using Homeless Emergency Aid Program funds, Homeless Housing, Assistance, and Prevention Program funds, or funds appropriated in Senate Bill 89".			

JUSTIFICATION FOR PROJECT EXEMPTION: This Project is statutorily exempt under Public Resources Code, Section 21080(b)(4), as a specific action necessary to prevent or mitigate an emergency, and as reflected in CEQA Guideline, Section 15269(c); Public Resources Code, Section 21080.27 (AB 1197) applicable to City of Los Angeles emergency homeless shelters; and, because the project uses Homeless Housing, Assistance and Prevention (HHAP) program funds, it is exempt under the Governor's Executive Order No. N-32-20 (see attached narrative).

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING

SIGNATURE: Maria Martin	TITLE: Environmental Affairs Officer BOE Environmental Management Group	DATE:
RECEIPT NO.	REC'D BY	DATE

Figure 1: Project Site



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, NOAA, NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, Swatch, and Mapbox.

EXEMPTION NARRATIVE

I. PROJECT DESCRIPTION, CONTINUED

The Project includes approximately 150 beds for people experiencing homelessness, in furtherance of providing emergency homeless shelter beds in the City. The Project operation will include approximately twenty employees working three shifts throughout the day with site security provided on a 24/7 basis or per a security plan consistent with the Los Angeles Homeless Services Authority's (LAHSA) standards. The homeless shelter will be operated consistent with LAHSA's program requirements for crisis and bridge shelters including, but not limited to, LAHSA's Scope of Required Services and Program Standards, as noted in the references section. A third-party service provider will operate the Project for the City, and it is anticipated that a lease or similar operating and/or funding agreements may be executed with the service provider, County, and/or LAHSA.

The Project site is owned by the Volunteers of America Los Angeles and is located on Long Beach Avenue, just northwest of the intersection with Adams Boulevard, in a limited industrial zone in the Southeast Los Angeles Community Plan Area of the City. The Project site is approximately 31,600¹ square feet, with approximately 19,550 square feet of floor area and 13 parking spaces, which includes one ADA compliant space. The Project site is in a limited industrial non-residential zone that under certain circumstances, allows for multifamily uses. The Project site is developed with two warehouse buildings and paved exterior areas. Both warehouses will be rehabilitated for use as emergency shelters. The Project site is zoned M1-1 with Limited Industrial land use designation. The parcels that surround the site are also zoned M1-1 with Limited Industrial land use designation (City of Los Angeles Department of City Planning, 2016 and 2021).

II. PROJECT HISTORY

A. Homelessness Imposes a Loss of, or Damage to, Life, Health, Property, and to Essential Public Services in the City

Homelessness presents a danger of loss or damage to the health and property of the people of the City and an undue burden on essential public services. Homeless persons constitute approximately 0.78 percent of the City's population (Los Angeles Homeless Services Authority, 2018).

In 2018, homeless persons constituted 13.5 percent of LAFD's total patient transports to a hospital, meaning a homeless person is 17 percent more likely to require emergency hospital transportation than the general population (LAFD Battalion Chief and Paramedic Douglas Zabilski, 2019). Studies have shown that individuals identified as homeless utilize health care services more frequently than comparable non-homeless individuals of the same age, gender, and low-income status, particularly high-cost services such as ER visits and psychiatric hospitalizations (Hunter, 2017) (Hwang SW, 2013).

Los Angeles County's Chief Executive Officer reported the County spent \$965 million on health, law enforcement, and social services toward individuals experiencing

¹ Los Angeles County Assessor Portal, Parcel Detail for 2525 Long Beach Boulevard, accessed August 11, 2021 at <https://portal.assessor.lacounty.gov/parceldetail/5117002010>

homelessness in fiscal year 2014–2015 (Wu, 2016). Consistent with that report, a 1998 study in the *New England Journal of Medicine* found that homelessness was associated with substantial excess costs per hospital stay in New York City, with homeless patients staying in the hospital 36 percent longer per admission on average than other patients (Salit, *Hospitalization Costs Associated with Homelessness in New York City*, 1988).

Homelessness also causes significant danger to the health and lives of persons who are homeless. Homeless individuals living in the City are frequent crime victims. In 2018, LAPD reported 2,965 instances where a homeless individual was a victim of a serious crime, including homicide, rape, aggravated assault, theft, and arson (also known as “Part 1 Crimes.”) (Commander Dominic H. Choi, 2019). This compares to 1,762 such crimes in 2017, a 68 percent increase (*Id.*). This dramatic increase in Part 1 Crime statistics may be due to more rigorous LAPD data collection methodologies, however it is consistent with the increasing incidence of homelessness documented in June of 2019 detailed below (*Id.*).

Overall, in 2018, the LAPD reported 6,671 instances in total where a homeless individual was a Part 1 Crime victim and/or suspect, among the 31,285 estimated homeless individuals throughout the City (*Id.*). This means that in 2018 there was approximately one Part 1 Crime per every 4.68 homeless individuals in the City. By comparison, for the same year LAPD reported 129,549 total Part 1 Crimes Citywide among an estimated population of 4,054,400 City residents, or approximately one Part 1 crime per every 31.29 City residents. Accordingly, the rate of Part 1 crimes among homeless individuals in 2018 was approximately seven times higher than the rate among the City population as a whole (*Id.*).

On October 4, 2018 and again on February 6, 2019, the Los Angeles County Department of Public Health identified an outbreak of endemic flea-borne typhus in downtown Los Angeles among persons experiencing homelessness. On September 19, 2017, the Los Angeles County Department of Public Health declared a Hepatitis A virus outbreak among persons who are homeless and/or use illicit drugs in the County. Likewise, a January 2018 report from the Los Angeles County Department of Mental Health reported that data from the Los Angeles County Medical Examiner-Corner’s showed that a significant number of deaths in the homeless population were caused by treatable conditions such as arteriosclerotic cardiovascular disease, pneumonia, diabetes, cancer, cirrhosis, severe bacterial infections and other conditions (Choi, 2019). As noted more recently by the Board of Supervisors for the County of Los Angeles on October 29, 2019:

Mortality rates for people experiencing homelessness are much higher than those for the general population, have risen in the County over the past five years, and are expected to increase again for 2019. A recent analysis by the County’s Department of Public Health on mortality rates and causes of death among people experiencing homelessness shed critical light on this issue and provided sobering data on recent trends. The overall mortality rate, which accounts for increases in the total homeless population over the 6-year period from 2013 to 2018, increased each year from 1,382 per 100,000 to 1,875 deaths per 100,000, with the total number of deaths among people experiencing homelessness increasing each year from 536 in 2013 to 1,047 in 2018. The leading causes of death included coronary

heart disease (22%) and unintentional drug and alcohol overdose (21%), indicating that there are opportunities for interventions to prevent premature deaths (Supervisor Ridley-Thomas, Supervisor Solis, 2019) (Department of Public Health, 2019).

These significant adverse health impacts suffered by the homeless in the City and County of Los Angeles are consistent with the impacts identified by a well-established body of expert social science studies that document the significant adverse health and welfare impacts experienced by homeless persons in the United States and in other countries, which the homeless in the City and County experience as well. Some of that research has documented the following impacts upon homeless persons:

Mortality Rates. A study of the mortality rates of sheltered homeless people in New York City between 1987 and 1994 documented that homeless men died at a rate more than twice that of other residents of New York, and that homeless women died at a rate more than 3.7 times greater than other New York residents (Barrow, Susan M., PhD, Daniel B. Herman, DSW, Pilar Cordova, BA, and Elmer L. Struening, PhD, 1999). A study conducted between 1985 and 1988 in Philadelphia found that the mortality rate among homeless persons in Philadelphia was nearly four times greater than for the general population (Hibbs, Jonathan R., MD, et. al., 1994). A review of five years of data between 2000 and 2005 in Glasgow, Scotland found that homelessness is, itself, is an independent risk factor for death, distinct from other specific causes (Morrison, 2009).

Access to Healthcare. A 2003 nationwide survey of homeless persons documented that homeless adults reported substantial unmet needs for multiple types of health care (Baggett, Travis P., MD, MPH, James J. O'Connell, MD, Daniel E. Singer, MD, and Nancy A. Rigotti, MD, 2010). The report found 73 percent of the respondents reported at least one unmet health need, including an inability to obtain needed medical or surgical care (32%), prescription medications (36%), mental health care (21%), eyeglasses (41%), and dental care (41%) (*Id.*).

AIDs Impacts. A study of San Francisco residents diagnosed with AIDS from 1996 through 2006 and reported to the San Francisco Department of Public Health demonstrated that homeless persons with HIV/AIDS have greater morbidity and mortality, more hospitalizations, less use of antiretroviral therapy, and worse medication adherence than HIV infected persons who are stably housed (Schwarcz, Sandra K, Ling C Hsu., Eric Vittinghoff, Annie Vu, Joshua D Bamberger and Mitchell H Katz, 2009).

Cancer Impacts. A study of 28,000 current and formerly homeless individuals in Boston documented that homeless men saw a significantly higher cancer incident rate than expected compared to the general Massachusetts general population, and that homeless women and men experienced significantly higher cancer mortality rates than the Massachusetts general population (Baggett, Travis P et al., 2015).

B. Unexpected and Unabated Dramatic Surge in Homelessness

A 2017 Rand Corporation study reported the County of Los Angeles as having the highest rate in the United States of unsheltered individuals who experience homelessness (Hunter, Sarah B., Melody Harvey, Brian Briscoombe, and Matthew Cefalu, 2017). The impacts of homelessness upon the homeless and upon the community, in terms of the danger to or loss of life, property, health and burden on public services is exacerbated in the City due the very size of the City’s homeless population. The homeless shelter crisis and the rise in homelessness are the type of emergency situations that led the State to adopt AB 1197, an urgency statute addressing homelessness that was deemed necessary for the immediate preservation of the public peace, health, or safety and for the critical necessity to address the shelter and homeless crisis within the City of Los Angeles.

The City Council declared a homeless shelter crisis pursuant to Government Code Section 8698, et seq. on April 17, 2018 (The Honorable M. Bonin & M. O’Farrell, 2019), which is currently in effect (The Honorable M. Bonin & M. Harris-Dawson, 2019). Following significant investment of resources by both the County and City, the 2018 Homeless Count showed progress in reducing homelessness, documenting a 5.5 percent overall decrease in the number of persons experiencing homelessness in LA County (LAHSA, 2020).

Table 1 - 2018 Homeless Count Data Summary presents the data revealed by the 2018 Homeless Count concerning the City of Los Angeles, as documented in the 2018 Data Summary in Table 1 (LAHSA, 2020).

Table 1		
2018 Homeless Count Data Summary		
	Number of Individuals	Change from 2017
Sheltered Homeless	8,398	6% Decrease
Unsheltered Homeless	22,887	5.3% Decrease
Total Homeless Persons	31,285	5.5% Decrease

Despite these efforts and the initial progress shown in 2018, the revised 2019 Homeless Count, released in July 22, 2020, unexpectedly documented a dramatic increase in the number of individuals experiencing both sheltered and unsheltered homelessness in (LAHSA, 2020) *Table 2 - 2019 Homeless Count Data Summary* presents the data revealed by the 2019 Homeless Count concerning the City of Los Angeles, as documented in the 2019 Data Summary as shown in Table 2 (LAHSA, 2020).

Table 2		
2019 Homeless Count Data Summary (Revised 07/20/2020)		
	Number of Individuals	Change from 2018
Sheltered Homeless	8,944	6.5% Increase
Unsheltered Homeless	26,606	16.2% Increase
Total Homeless Persons	35,550	13.7% Increase

LAHSA recently published its 2020 Homeless Count, released in July 20, 2020, which shows that the homelessness emergency in the City of Los Angeles continues unabated. The documented number of individuals experiencing both sheltered and unsheltered homelessness dramatically increased yet again, as shown in *Table 3 - 2020 Homeless Count Data Summary* (LAHSA, 2020).

Table 3		
2020 Homeless Count Data Summary		
	Number of Individuals	Change from 2019
Sheltered Homeless	12,438	39% Increase
Unsheltered Homeless	28,852	8.4% Increase
Total Homeless Persons	41,290	16.1 % increase

C. Emergency Related to COVID-19 Pandemic Impacting Homeless Community

In addition to the crisis of growing homelessness, the COVID-19 pandemic is impacting homeless persons. On March 4, 2020, the Governor proclaimed a State of Emergency for the State of California (Governor Gavin Newsom, 2020), and the Mayor of the City of Los Angeles declared a local emergency related to the threat of the COVID-19 pandemic affecting the local population (Mayor Eric Garcetti, 2020). The City is facing an unprecedented emergency at the current time due to the sudden occurrence of the COVID-19 pandemic, and this emergency is particularly concerning for the imminent threat it poses to the City’s homeless population.

On March 11, 2020, the State Department of Health issued guidance for protecting homeless Californians from COVID-19, which noted the following:

“We know that individuals experiencing homelessness are at greater risk of having an untreated and often serious health condition. This vulnerable

population also has a higher risk of developing severe illness due to COVID-19,” said Dr. Mark Ghaly, Secretary of the California Health and Human Services Agency. “It is important that we act now to protect this population and the compassionate people who serve them.” (Corey Egel, 2020)

The homeless often live unsheltered, unprotected from the elements and in close contact and proximity to other individuals in the homeless community. As noted above, the homeless population is substantially more prone to underlying health conditions. The State Department of Public Health additionally states that populations “with compromised immune systems, and people with certain underlying health conditions like heart disease, lung disease and diabetes, for example, seem to be at greater risk of serious illness.” (California Dept. of Public Health, 2020). Thus, exposure to COVID-19 in the homeless population is an imminent concern for the damage it will cause on these susceptible individuals.

On March 12, 2020, the Governor’s Executive Order No. N-25-20 noted the “need to secure numerous facilities to accommodate quarantine, isolation, or medical treatment of individuals testing positive for or exposed to COVID-19.” (Governor Gavin Newsom, 2020). On March 18, 2020, the Governor issued Executive Order No. N-32-20 (Governor Gavin Newsom, 2020), which further noted imminent impacts to the homeless, as follows:

[T]he emergency of COVID-19 necessitates a more focused approach, including emergency protective measures to bring unsheltered Californians safely indoors, expand shelter capacity, maintain health and sanitation standards and institute medically indicated interventions, and add new isolation and quarantine capacity to California’s shelter and housing inventory to slow the spread of the pandemic....

The Governor has stated that “[p]eople experiencing homelessness are among the most vulnerable to the spread of COVID-19,” and “California is deploying massive resources to get these vulnerable residents safely into shelter, removing regulatory barriers and securing trailers and hotels to provide immediate housing options for those most at risk. Helping these residents is critical to protecting public health, flattening the curve and slowing the spread of COVID-19.” (California Governor, Press Release (Governor Gavin Newsom, 2020).

On March 19, 2020, the Governor issued a stay-at-home order directing residents to stay home or at their place of residence (Governor Gavin Newsom, 2020). It noted “in a short period of time, COVID-19 has rapidly spread throughout California, necessitating updated and more stringent guidance from federal, state, and local public health officials.” (Governor Gavin Newsom, 2020). Similar local Safer-at-Home orders followed (County of Los Angeles Public Health Department, 2020) (Mayor Eric Garcetti, 2020). The City’s Safer at Home order particularly noted the following:

City of Los Angeles officials and contracted partners responsible for homelessness outreach shall make every reasonable effort to persuade such residents to accept, if offered, temporary housing or shelter, as the Health Officer of the County of Los Angeles recommends that sheltering individuals will assist in reducing the spread of the virus and will protect the

individual from potential exposure by allowing the individual access to sanitation tools (Mayor Eric Garcetti, 2020).

In the United States District Court Central District of California case of *LA Alliance for Human Rights Et Al. vs. the City of Los Angeles, Et al.* Case No. CV 20-02291 DOC (The Honorable Judge David O. Carter, 2020), concerning homelessness, the Court entered a May 2020 injunction that had ordered the City of Los Angeles in partnership with the County of Los Angeles, to protect a particular subset of persons experiencing homelessness, finding they are exposed to severely heightened public health risks as a result of where they live (The Honorable Judge David O. Carter, 2020). Although the Court vacated that order on June 18, 2020, in favor of a homeless shelter agreement between the City and County, the Court retained its right to re-impose the May 2020 injunction. The Court's May 2020 findings concerning the emergency situation faced by homeless persons, therefore, is relevant to understanding the emergency situation.

The Injunction found that the combined risks of health impacts from living near freeways and the on-going Covid-19 pandemic constitute an emergency. The Court found that it is unreasonably dangerous for humans to live in areas which have deleterious health impacts and can shorten a homeless person's life expectancy by decades. These locations near freeways, for example, could be contaminated with lead or other carcinogenic substances and also increase the danger that a homeless person will be struck by a vehicle or injured in the event of an earthquake or crash. Camps in these locations can also burden the general public—for example, by posing potential hazards to passing motorists, or by making sidewalks and other rights-of-way inaccessible to individuals with disabilities.

The Court further found that providing housing for persons experiencing homelessness will help stop the spread of COVID-19 persons experiencing homelessness and will also help reduce the likelihood that the disease will spread throughout the greater Los Angeles community.

Taken together, the unexpected and dramatic increase in homelessness in the City and County of Los Angeles identified first in 2019 continues unabated in 2020, which is now exacerbated by the COVID-19 pandemic posing a critical emergency situation in the City of Los Angeles. This situation presents documented dangers to health, life, property and a burden on public resources which presents an emergency as defined by CEQA as explained below. Furthermore, the State has created additional CEQA exemptions applicable in the City of Los Angeles concerning homelessness and homeless shelters.

III. THE PROJECT IS EXEMPT FROM FURTHER CEQA REVIEW

A. The Project is Exempt Pursuant to the Emergency CEQA Statutory Exemption (PRC Section 21080(b)(4))

Public Resources Code section 21080(b)(4) provides that CEQA does not apply, to "specific actions necessary to prevent or mitigate an emergency." Public Resources Code section 21060.3 defines Emergency as, "a sudden, unexpected occurrence, involving a clear and imminent danger, demanding immediate action to prevent or mitigate loss of, or damage to, life, health, property, or essential public services." Section 21060.3 further

provides that Emergency, “includes such occurrences as fire, flood, earthquake, or other soil or geologic movements, as well as such occurrences as riot, accident, or sabotage.”

Finally, 14 California Code of Regulations (Governor's Office of Planning and Research, 2018) Section 15269, “Emergency Projects,” provides examples of emergency projects exempt from the requirements of CEQA, including the following:

(c) Specific actions necessary to prevent or mitigate an emergency. This does not include long-term projects undertaken for the purpose of preventing or mitigating a situation that has a low probability of occurrence in the short-term, but this exclusion does not apply

(i) if the anticipated period of time to conduct an environmental review of such a long-term project would create a risk to public health, safety or welfare, or

(ii) if activities (such as fire or catastrophic risk mitigation or modifications to improve facility integrity) are proposed for existing facilities in response to an emergency at a similar existing facility.

The project is a specific action necessary to prevent or mitigate an emergency – the conditions arising from a sudden and unexpected dramatic rise in the City’s already dangerously large homeless population, now adversely impacted by the COVID-19 pandemic for all of the reasons set forth above in Part II (Project History). The Project, therefore is exempt from CEQA environmental review pursuant to Section 21080(b)(4).

B. The Project is Exempt under the Governor’s Executive Order No. N-32-20, Suspending CEQA

On March 18, 2020, Governor Newsom signed and issued Executive Order No. N-32-20 (Governor Gavin Newsom, 2020) suspending CEQA and the CEQA Guidelines’ requirements “for any project using Homeless Emergency Aid Program funds, Homeless Housing, Assistance, and Prevention Program funds, or funds appropriated in Senate Bill 89, signed on March 17, 2020.” The Governor noted that “strict compliance with the various statutes and regulations specified in this order would prevent, hinder, or delay appropriate actions to prevent and mitigate the effects of the COVID-19 pandemic.” Because this project qualifies for and will use Homeless Emergency Aid Program funds for at least a portion of the work at the site,” it is exempt from CEQA under the Governor’s suspension order.

C. The Project is Exempt Pursuant to AB 1197 Codified at PRC Section 21080.27

Assembly Bill 1197 (Santiago, 2019) was signed into law on September 26, 2019, which adopted Section 21080.27 of the California Public Resources Code (PRC) and created a statutory exemption for compliance with CEQA for emergency shelter projects located within the City of Los Angeles. The intent of AB 1197 is to help the City of Los Angeles address its homeless crisis and is an urgency statute that is deemed necessary for the immediate preservation of the public peace, health, or safety and for the critical necessity

to address the shelter and homeless crisis. AB 1197 took immediate effect on September 26, 2019 in order to address the unique circumstances faced by the City of Los Angeles and to expedite the development of emergency homeless shelters. As noted in the following sections, this shelter project complies with the requirements in AB 1197, and thus the project is exempt from CEQA pursuant to AB 1197 (PRC § 21080.27).

1. City of Los Angeles Declaration of a Shelter Crisis

Public Resources Code, section 21080.27(a)(2) requires that emergency shelters be approved during a shelter crisis under Government Code, section 8698.2. The City of Los Angeles City Council declared a homeless shelter crisis pursuant to Government Code Section 8698, et seq. on April 17, 2018 (The Honorable M. Bonin & M. O'Farrell, 2019), which is currently in effect (The Honorable M. Bonin & M. Harris-Dawson, 2019).

2. The Project Meets the Definition of a Low Barrier Navigational Center in Government Code Section 65660

Under AB1197, emergency shelters must meet the definition of “Low Barrier Navigational Center” in Government Code Section 65660, which defines Low Barrier Navigation Center as a “Housing First, low-barrier, service-enriched shelter focused on moving people into permanent housing that provides temporary living facilities, while case managers connect individuals experiencing homelessness to income, public benefits, health services, shelter and housing. The City builds and operates emergency shelters, such as this Project, to be operated as low barrier navigation centers consistent with Government Code Section 65660.

Service-Enriched Shelter with Case Managers Connecting to Services. The requirements are met by this project for a “service-enriched shelter focused on moving people into permanent housing that provides temporary living facilities, while case managers connect families experiencing homelessness to income, public benefits, health services, shelter and housing.” This project provides temporary housing, with case managers staffing the facility that provide connections to homeless family services and assistance for the occupants. This is one of the fundamental purposes of this shelter project. For example, the project’s programs include Trauma Informed Care policies and procedures that involve understanding, recognizing, and responding to the effects of all types of trauma. Trauma Informed Care also emphasizes physical, psychological and emotional safety for both families and providers, and helps families rebuild a sense of control and empowerment. Trauma Informed services take into account an understanding of trauma in all aspects of service delivery and place priority on the trauma survivor’s safety, choice, and control. Trauma Informed Care services create a culture of nonviolence, learning, and collaboration.

The Project will be operated by service providers coordinated with the Los Angeles Homeless Services Authority (LAHSA). The intention of this emergency shelter is to provide persons experiencing homelessness with some stability, so that they can more easily maintain contact with housing navigation and/or case management services to facilitate safe and supportive housing placement.

Per LAHSA's Crisis and Bridge Housing Scope of Required Services, which will be followed for operating the shelter in this project, service providers that oversee an emergency shelter must provide case management services and develop a Housing Stability Plan with each person. The shelter will program implement a case management and service plan known as Housing-Focused Case Management and Support Services (HFCMSS). HFCMSS includes but is not limited to: support with completing housing applications, accompanying the individual to housing appointments and/or leasing appointments, and other support associated with the housing placement process. The primary objective of HFCMSS is to extend support to individuals through an individualized case management relationship that will ultimately translate to increased housing stability. The HFCMSS offers services to connect individuals to permanent housing. Case Managers present at the shelter make rapid connections to a broad continuum of resources and permanent housing, emphasizing a short-term stay.

HFCMSS connects families to a Housing Navigator who assists individuals to gain access to permanent housing through referrals to housing programs (such as RRH, Permanent Supportive Housing, affordable housing, etc.). A case manager is assigned to an individual when the person enters the program and then helps the participant establish a connection to a Housing Navigator. A Housing Navigator assists individuals with Housing Navigation services. Housing Navigation services are available to individuals to support their housing placement goals and must be focused on assisting the participant in identifying and accessing permanent housing within the general ninety (90) days. Housing Navigation services may be provided onsite or offsite, and may also require participants' to be accompanied to off-site appointments.

Case management must be conducted on a regular and routine basis and must be routinely documented. The content and outcome of case management meetings with individuals are entered into a housing management information system with case notes that are tracked in the system. Housing-focused case management sessions are dedicated to assessing and reassessing needs, educating individuals on community resource opportunities, developing Housing Stability Plans, scheduling appointments, and providing necessary follow up to ensure housing stability plans are progressing on schedule and needs are adequately being addressed.

As noted in LAHSA's Program Standards, supportive services for the shelters focus on the income, resources, skills and tools needed to pay rent, comply with a lease, take reasonable care of a housing unit, and avoid serious conflict with other tenants, the landlord, and/or the police. The Program Standards also require service providers to utilize and maintain referral networks with specific lists of health services and public benefit services for connecting occupants to those benefits. Thus, the project is a service-enriched shelter focused on moving individuals into permanent housing that provides temporary living facilities, while case managers connect individuals experiencing homelessness to income, public benefits, health services, shelter and housing.

Housing First. The Project is a "Housing First" shelter pursuant to Government Code Section 65660. Also, in being such a Housing First shelter, the project complies with

Chapter 6.5 of Division 8 of the Welfare and Institutions Code (commonly referred to as the Housing First Law) as required by Government Code Section 65662 (discussed further below). "Housing First" means the evidence-based model that uses housing as a tool, rather than a reward, for recovery from homelessness, and that centers on providing or connecting people experiencing homelessness to permanent housing as quickly as possible. Housing First providers offer services as needed and requested on a voluntary basis and that do not make housing contingent on participation in services.

Housing First also includes time-limited rental or services assistance, so long as the housing and service provider assists the recipient in accessing permanent housing and in securing longer-term rental assistance, income assistance, or employment. In the event of an eviction, programs shall make every effort, which shall be documented, to link tenants to other stable, safe, decent housing options. Exit to homelessness should be extremely rare, and only after a tenant refuses assistance with housing search, location, and move-in assistance. If resources are needed to successfully divert an individual from entry into the homelessness system, a referral must immediately be made to a CES Diversion/Prevention program. In order to identify other permanent housing options, service providers continue to have such problem solving conversations with the individual while residing in Crisis and Bridge Housing. More broadly, the project includes a housing and services plan and housing-focused case management, both with an orientation towards supporting individuals to exit to safe and stable housing. This Project meets the above-noted Housing First requirements.

The emergency shelters are operated by service providers coordinated through LAHSA. All service providers must comply with LAHSA's Scope of Required Services, Program Standards, and Facility Standards. Per LAHSA's Program Standards, all eligible participants are to be served with a Housing First approach. LAHSA's CES for Families' Principles and Practices that were approved by the CES Policy Council on August 23, 2017 shall be used to guide the development of systems-level policy and to ensure transparent and accountable decision-making with privately owned Service Providers who enter into a partnership with LAHSA. The basic underlying principle of LAHSA's System Components is that access to housing is the primary need for its program participants. Services are voluntary and not required to enter into a shelter. Individuals will not be rejected or exited from participation in the emergency shelter due to any unnecessary barriers.

The City's shelters are intended to be a Housing First program focused on quickly moving individuals experiencing homelessness into permanent housing and then providing the additional supports and services each person needs and wants to stabilize in that housing. The basic underlying Housing First principle is that individuals are better able to move forward with their lives once the crisis of homelessness is over and they have control of their housing. The City's emergency shelter will, provide a safe, low barrier, housing-focused, and homeless services support in a twenty-four (24) hour residence to help individuals who experience homelessness that meet the above-noted requirements for Housing First. One of the core components of the Housing First model is that longer-term housing accepts referrals directly from shelters. The City's shelters, including this Project, are primarily focused on connecting, transitioning, and referring homeless

individuals into such permanent housing as quickly as possible in the Housing First model, and accepting occupants through the crisis response system. The intention of this emergency shelter project is to provide participants with some stability, so that they can more easily maintain contact with housing navigation and case management services and facilitate safe and supportive housing placement. Services in the City's shelters, including this Project, are never mandatory and cannot be a condition of obtaining the housing intervention. This Project will provide temporary housing, case managers and Housing Navigators staffed at the facility or offsite who provide connections to homeless services for the occupants. Based on the above-noted information, the project's emergency shelter meets the Housing First requirements relative to AB 1197.

Low Barrier. "Low Barrier" means the shelters use best practices to reduce barriers to entry, including but not limited to, the presence of partners (if it is not a population-specific site, such as for survivors of domestic violence or sexual assault, women, or youth); pets; storage for possessions; and privacy (such as partitions around beds in a dormitory setting or in larger rooms containing more than two beds, or private rooms). The City's shelters, including this Project, meet these requirements.

The Project provides approximately 150 sleeping bed which allow for presence of partners. This project is pet friendly. Participants are allowed to bring their pets to the shelter. There is no pet play area onsite. The Project has storage within each sleeping area for personal possessions and day lockers are available. The Project is designed to provide privacy to participants by providing each family or individual with their own sleeping space. There are separated sleeping spaces with communal bathrooms. Therefore, the project is managed and designed to allow the privacy of participants and is a pet friendly facility for participants who choose to be accompanied by their pets.

The Project uses low barrier best practices that reduce barriers to entry. They include the allowance for presence of partners, pet friendly facilities, storage areas for some possessions, and management and design for individuals' privacy. All of the City's emergency shelters, including this project, meet these requirements. Therefore, none of the noted conditions would preclude access to the project, and the project is considered crisis and bridge housing that is "low barrier" within the meaning of Government Code Section 65660 and AB 1197.

In sum, based on the above-noted information, which is additionally explained and provided with additional details in the documents from LAHSA cited in the Reference section to this document, the Project meets the definition of Low Barrier Navigation Center set forth in Government Code Section 65660.

3. The Project Complies with Government Code Section 65662

Under AB1197, emergency shelters must meet the four requirements identified in Government Code Section 65662(a) through (d), which are each discussed in turn in this section.

Connecting to Permanent Housing through a Services Plan. Government Code Section 65662(a) requires that Low Barrier Navigation Centers offer services to connect families and individuals to permanent housing through a services plan that identifies services staffing. This Project meets that requirement. As noted above, the Project includes housing-focused case management sessions that involve developing Housing Stability Plans/Housing and Services Plans, scheduling appointments, and providing necessary follow up to ensure housing stability plans are progressing on schedule and needs are adequately being addressed. This is required in LAHSA's Scope of Required Services.

The Housing Stability Plan is the family or individual's service plan that summarizes the participant's housing goals, services needed, what will be provided, actions that need to be taken (by staff and the participant), and referrals that need to be made. Case managers develop the services plan in coordination with the family or individual right after intake and assessment, track the plan in a homeless management information system, and revise the plan as the family or person's situation changes and steps are completed or revised accordingly.

Families and individuals are assisted with a range of activities that address the stated goals of the family or individual in the Housing Stability Plan, including but not limited to:

- Accessing personal identification (For quick referral to permanent housing)
- Accessing certification of the current income (For quick referral to permanent housing)
- Mainstream Benefits
- Substance Abuse services
- Mental Health Services
- Health Services
- Vocational Services
- Employment Services
- Educational Support
- Legal Services
- Life Skills Development
- Independent Living Program for Youth
- Transitional Housing Program for Youth
- CES and CoC Rapid Re-Housing Program
- Housing Navigation Assistance
- CoC Permanent Supportive Housing
- LA County Department of Health Services, Housing for Health or Housing and Jobs Collaborative
- LA County Department of Health Services, Countywide Benefits Entitlement Services Team
- LA County Department of Mental Health, Countywide Housing Assistance Program
- Veterans Administration Housing Programs
- Housing Opportunities for Persons with Aids (HOPWA) Housing

- Crisis Housing for Unaccompanied Youth
- Youth Family Reconnection Program

Progress and problems implementing the plan are reviewed and updated frequently.

Coordinated Entry System. Government Code Section 65662(b) requires Low Barrier Navigation Centers to be linked to a coordinated entry system allowing staff and co-locating staff to conduct assessments and provide services to connect families and individuals to permanent housing. This is required by LAHSA's Scope of Required Services and Program Standards. Thus, all City of Los Angeles homeless shelters, including this project, are linked to the Los Angeles County Coordinated Entry System, a centralized or coordinated assessment system designed to coordinate program participant intake, assessment, and referrals. The residents are prioritized through the coordinated entry system in the Los Angeles County Coordinated Entry System for safe and supportive housing resources. The City's collaborates with Los Angeles County Case Entry System and provides case management services to program participants through a Housing Stability Plan. Case managers must develop a Housing Stability Plan in coordination with the participant right after intake and assessment. The Housing Stability Plan must be tracked in a Homeless Management Information System (HMIS) along with the date of completion.

The shelter will collaborate with Los Angeles County Case Entry System Housing Navigators and case managers from other outside agencies to provide case management services to program participants. Los Angeles County Coordinated Entry System case managers work with participants and assist by facilitating services appointments; and then eventually help them find permanent housing.

Compliance with Welfare and Institutions Code. Government Code Section 65662(c) requires Low Barrier Navigation Centers comply with Chapter 6.5 of Division 8 of the Welfare and Institutions Code, which specifies the Housing First requirements. As noted above, the City's emergency shelters, including this project, are Housing First shelters, and thus they comply with this requirement.

Homeless Management Information System. Government Code Section 65662(d) requires Low Barrier Navigation Centers to have a system for entering stays, demographics, income, and exit destination through a local Homeless Management Information System designed to coordinate program participant intake, assessment, and referrals. These are required by LAHSA's Scope of Required Services and Program Standards. The City's emergency shelters use such a system in the Los Angeles Continuum of Care Homeless Management Information System (HMIS). In 2001, Congress directed the U.S. Department of Housing and Urban Development (HUD) to ensure the collection of more reliable data regarding the use of homeless programs. HUD required all Continuum of Care applicants to demonstrate progress in implementing a Homeless Management System (HMIS). LAHSA led a regional planning process, encompassing three Continuums of Care - Los Angeles, Glendale, and Pasadena. This process resulted in the selection of a system that would not only satisfy the HUD mandate,

but would also provide the Los Angeles Continuum with a means to measure the effectiveness of programs serving homeless families. Presently, the Los Angeles Continuum of Care (LACoC) is part of a collaborative called the Los Angeles HMIS Collaborative. The LA HMIS Collaborative consists of three Continuums of Care (CoC): Los Angeles, Glendale, and Pasadena.

HMIS is a web-based application that is designed to collect information on the characteristics and service needs of homeless persons. The system allows agency users and the Los Angeles Homeless Services Authority (LAHSA) to use collected information for informed programmatic decision-making. Participating agencies collect and input standardized client-level and demographic data into the system, including client/household demographic details; relationships within a family and household; client/household income; client/household documents; case management and services; housing placements; and progress for housing retention. The HMIS includes a focus on Outcomes Management that sets and measures milestones and target achievements of clients and program performance.

Housing Stability Plans are tracked in a Homeless Management Information System (HMIS) along with the date of completion. Case managers complete a Monthly Update with the family to assess progress towards achieving the goals defined in the Housing Stability Plan. All services must be tracked, and information is provided to families in HMIS with the goal of the individuals achieving housing stability and sustainability upon exit from the program. Exit destination information is also collected. Accordingly, the Project meets the HMIS requirements.

In sum, based on the above-noted information, which is additionally explained in more detail in the documents from LAHSA cited in the Reference section to this document, the Project meets the requirements set forth in Government Code Section 65662.

4. The Project is in a Qualified Location Under AB 1197

AB 1197 requires that the site be located in "either a mixed-use or nonresidential zone permitting multifamily uses or infill site..." (PRC § 21080.27(a)(2)).

The Project site at 2521 - 2525 Long Beach Avenue meets this requirement because it is located in a nonresidential zone, a limited industrial area that under certain circumstances, such as those of this Project, allows multifamily uses (City of Los Angeles Department of City Planning, 2016 and 2021).

The project site is located within an urban area on a parcel that is currently developed with two warehouses in a limited industrial area of the Southeast Los Angeles Community Plan and is surrounded by limited industrial uses. Therefore, the Project site is in a qualified location under AB 1197.

5. The Project Involves Qualified Funding Under AB 1197

AB 1197 (Public Resources Code Section 21080.27(a)(2)(A)-(D)) exempt emergency shelter projects from CEQA which have at least a portion of the funding from qualified

sources. The Project is funded, at least in part, through State of California Homeless Housing, Assistance and Prevention Grant Program (HHAP) for the improvements. The City also has determined that the Project is a homeless shelter project that would qualify for the other homeless shelter funding sources identified in AB 1197, and that those funds may be applied to this Project if such funding becomes available, which further qualifies this Project for the exemption under AB 1197. Because these funding sources are qualified funding sources under Public Resources Code Section 21080.27(a)(2)(A), the funding requirement is met.

6. The City's Actions Qualify under AB 1197 as Actions in Furtherance of Providing Emergency Shelters in the City of Los Angeles

AB 1197 (Public Resources Code Section 21080.27(b)(1)), exempts from CEQA "any activity approved by or carried out by the City of Los Angeles in furtherance of providing emergency shelters or supportive housing in the City of Los Angeles." This Project involves minor tenant improvements to an existing industrial facility in the City of Los Angeles currently developed with two warehouse buildings that will undergo tenant improvements and then operated as an emergency homeless shelter, as described above. The City will provide funding and enter into contracts with a qualified service provider and/or LAHSA, to lease and operate the emergency shelter. Therefore, the City's actions are in furtherance of providing emergency shelters in the City of Los Angeles and qualify for exemption from CEQA under AB 1197.

7. AB 1197 Conclusion

Based on the above-noted information, the Project is exempt from CEQA pursuant to Public Resources Code Section 21080.27.

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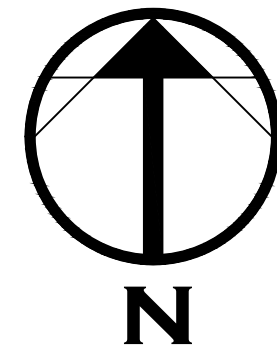
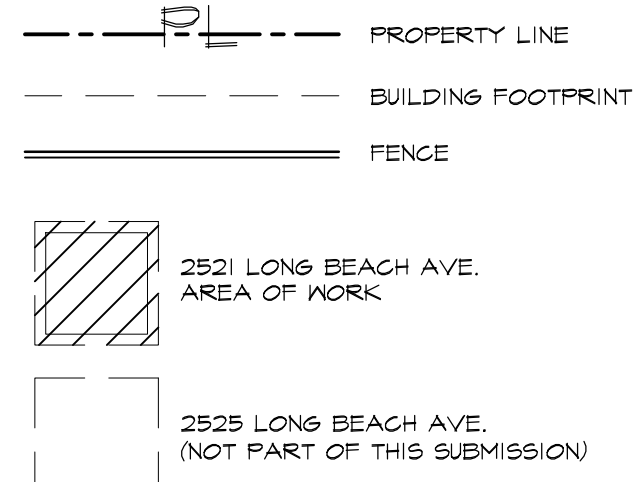
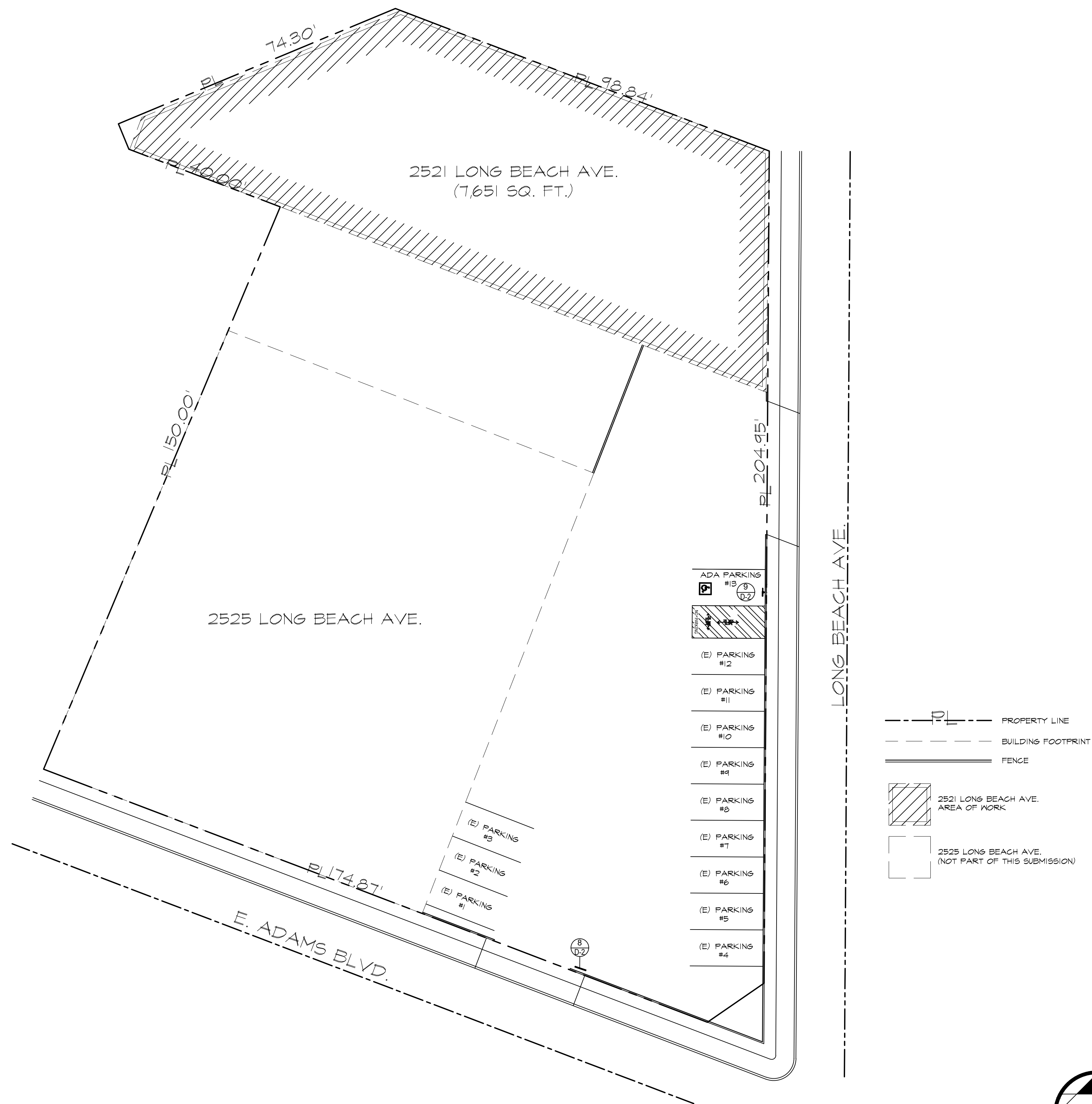
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Attachment
Project Site Plan

EMERGENCY HOMELESS SHELTER

2521 LONG BEACH AVE.
LOS ANGELES, CA. 90058

APN # 5117-002-010



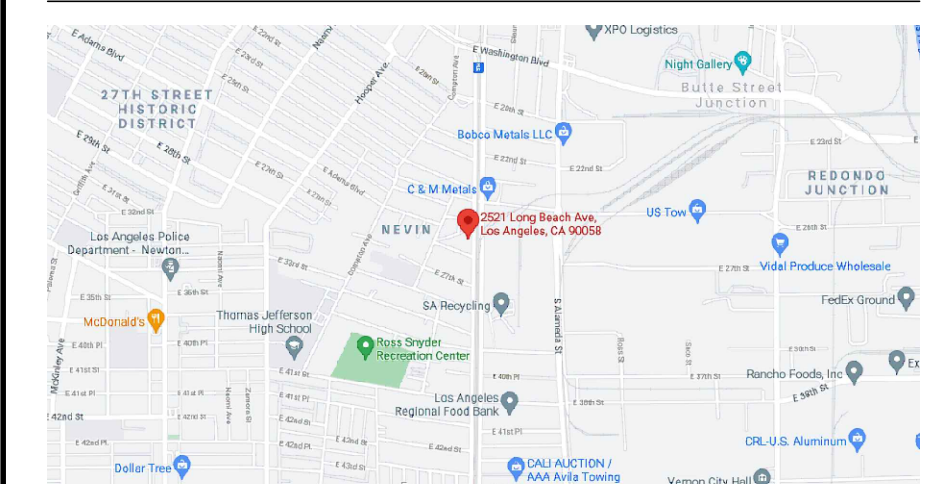
GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THAT FURNISHED BY SUBCONTRACTORS.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS; DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATION. THE OWNER OR DESIGNER SHALL BE NOTIFIED IF ANY DISCREPANCY OCCURS PRIOR TO CONTINUING WITH WORK.
- ALL PLAN DIMENSIONS ARE FROM CENTER LINE OF STUD OR FACE OF FINISH UNLESS OTHERWISE INDICATED.
- ANY CHANGES PRIOR TO APPROVED SET OF PLANS, C.B. HOME DESIGN MUST BE NOTIFIED. CONTRACTOR OR PERSON CONDUCTING WORK SHOULD NOTIFY C.B. HOME DESIGN IF ANY DISCREPANCY OCCURS DURING CONSTRUCTION. C.B. HOME DESIGN IS NOT RESPONSIBLE FOR CONTRACTOR OR HOME BUILDER PERFORMANCE TO PERFORM WORK.
- ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING MECHANICAL AND ELECTRICAL SERVICES AND DISTRIBUTION SYSTEMS WHETHER SHOWN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OR REMEDY OF ANY FAULTY, IMPROPER OR INTERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
- SILICONE CAULK SHALL BE USED AT THE FOLLOWING LOCATIONS INCLUDING BUT NOT LIMITED TO:
 - METAL DOOR AND WALL CONNECTION
 - CONDUIT AND PIPE PENETRATIONS AT WALLS AND CEILING.
 - JUNCTION OF MILLWORK (CABINETS, SHELVES, BOOTHS).
 - STAINLESS STEEL TO WALLS
 - DO NOT CAULK ANY OTHER AREAS, ESPECIALLY AT GREYWOOD
- CONTRACTOR IS TO CLEAN WORK AREAS ON A DAILY BASIS SO AS NOT TO ACCUMULATE DEBRIS.
- UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST, RESIDUAL AND DEBRIS.
- DO NOT OBSTRUCT STREETS, SIDEWALKS, ALLEYS OR OTHER RIGHT-OF-WAY WITHOUT FIRST OBTAINING PROPER PERMITS.
- ALL WORK SHALL BE ACCOMPLISHED WITH QUALITY WORKMANSHIP OF THE HIGHEST INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS SHALL CONFORM TO THE APPROPRIATE NATIONAL TRADE BOOK, I.E. TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION, ARCHITECTURAL WOODWORK INSTITUTE, "QUALITY STANDARDS" ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE SAFETY OF WORKS AND OCCUPANTS AT ALL TIMES.
- ALL CONSTRUCTION SHALL BE PERFORMED DURING THE HOURS OF 7:00 AM TO 6:00 PM MONDAY THROUGH SATURDAY. NO WORK IS TO OCCUR ON SUNDAYS OR HOLIDAYS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLY NECESSARY TO COMPLETE ANY INSTALLATION.
- MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISH SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.
- PROJECT SHALL CONFORM TO THE:
 - 2019 CRC
 - 2019 CMC
 - 2019 CEC
 - 2019 T-24
 AND ALL CITY AND COUNTY LAWS AND ORDINANCES.
- ADDITIONAL MECHANICAL, ELECTRICAL AND PLUMBING PERMITS SHALL BE OBTAINED AS REQUIRED.

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	GALV	GALVANIZED
CL6	CEILING	GYP BD	GYPSPUM BOARD
CLR	CLEAR	HORIZ	HORIZONTAL
CONC	CONCRETE	HT	HEIGHT
CONT	CONTINUOUS	JSTS	JOISTS
DIA	DIAMETER	MAX	MAXIMUM
DIM	DIMENSION	MIN	MINIMUM
DRAWING	DRAWING	NO	NUMBER
EA	EACH	OC	ON CENTER
EL	ELEVATION	REQD	REQUIRED
EQ	EQUAL	SIM	SIMILAR
EM	EACH WAY	SQ	SQUARE
(E)	EXISTING	THK	THICK
FF	FINISH FLOOR	TYP	TYPICAL
F6	FINISH GRADE	W	WITH
FL	FLOOR	WH	WATER HEATER
FT	FOOT, FEET		

VICINITY MAP



TABULATIONS

OCCUPANCY GROUP: M-1
 CONSTRUCTION TYPE: V-B
 LOT: 31,565 SQ. FT.
 WAREHOUSE TO BE CONVERTED: 7,651 SQ. FT.

ADMINISTRATIVE REQ'S

- THE PERSON IN CHARGE OF THE CONSTRUCTION OR INSTALLATION, WHO IS ELIGIBLE UNDER DIVISION 3 OF THE BUSINESS AND PROFESSIONS CODE TO ACCEPT RESPONSIBILITY FOR THE CONSTRUCTION OR INSTALLATION OF REGULATED MANUFACTURED DEVICES SHALL POST OR MAKE AVAILABLE WITH THE BUILDING PERMIT(S) ISSUED FOR THE BUILDING, THE CERTIFICATE OF INSTALLATION DOCUMENTATION FOR MANUFACTURED DEVICES REGULATED BY THE APPLIANCE EFFICIENCY REGULATIONS OR PART 6. SUCH CERTIFICATE OF INSTALLATION DOCUMENTATION SHALL BE MADE AVAILABLE TO THE ENFORCEMENT AGENCY FOR ALL APPLICABLE INSPECTIONS. THESE CERTIFICATES SHALL:
 - IDENTIFY FEATURES, MATERIALS, COMPONENTS OR MANUFACTURED DEVICES, AND SYSTEM DIAGNOSTIC RESULTS REQUIRED TO VERIFY COMPLIANCE WITH APPLIANCE EFFICIENCY REGULATIONS AND PART 6.
 - STATE THE NUMBER OF THE BUILDING PERMIT UNDER WHICH THE CONSTRUCTION OR INSTALLATION CBO WAS PERFORMED, SECTIONS OF THE CERTIFICATE (S), FOR WHICH SUBMITTAL TO A HERS PROVIDER DATA REGISTRY IS REQUIRED, SHALL DISPLAY THE UNIQUE REGISTRATION NUMBER ASSIGNED BY THE HERS DATA REGISTRY.
 - INCLUDE A DECLARATION STATEMENT INDICATING THAT THE CONSTRUCTED OR INSTALLED FEATURES, MATERIALS, COMPONENTS OR MANUFACTURED DEVICES CONFORM TO ALL APPLICABLE CODES AND REGULATIONS, AND TO THE REQUIREMENTS FOR SUCH DEVICES GIVEN IN THE PLANS AND SPECIFICATIONS APPROVED BY THE LOCAL ENFORCEMENT AGENCY.
 - BE SIGNED BY THE DOCUMENTATION AUTHOR TO CERTIFY THE DOCUMENTATION IS ACCURATE AND COMPLETE.
 - BE SIGNED BY THE INDIVIDUAL ELIGIBLE UNDER DIVISION 3 OF THE BUSINESS AND PROFESSIONS CODE TO ACCEPT RESPONSIBILITY FOR THE CONSTRUCTION OR INSTALLATION IN THE APPLICABLE CLASSIFICATION FOR THE SCOPE OF WORK SPECIFIED ON THE CERTIFICATE OF INSTALLATION DOCUMENTATION(S).
- THE BUILDER SHALL PROVIDE THE BUILDING OWNER OR THE PERSON(S) RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE FEATURE, MATERIAL, COMPONENT OR MECHANICAL DEVICE INSTALLED (IN CASE OF MULTI-TENANT OR CENTRALLY OPERATED BUILDINGS) WITH THE FOLLOWING AT THE TIME OF OCCUPANCY:
 - COMPLIANCE INFORMATION, THE APPROPRIATE COMPLETED AND SIGNED CERTIFICATE(S) OF COMPLIANCE, CERTIFICATE(S) OF INSTALLATION, AND IF APPLICABLE CERTIFICATE(S) OF VERIFICATION DOCUMENTATION SUBMITTED.
 - OPERATING INFORMATION, THE APPROPRIATE CERTIFICATE(S) OF COMPLIANCE AND A LIST OF THE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES INSTALLED IN THE BUILDING AND INSTRUCTION ON HOW TO OPERATE THEM CORRECTLY AND EFFICIENTLY.
 - MAINTENANCE INFORMATION, REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING THE OPERATION AND MAINTENANCE MANUAL.
 - VENTILATION INFORMATION, A DESCRIPTION OF THE QUANTITY OF OUTDOOR AIR THAT THE VENTILATION SYSTEM IS DESIGNED TO PROVIDE TO THE BUILDING CONDITIONED SPACE, AND INSTRUCTIONS FOR PROPER OPERATION AND MAINTENANCE.
- THE ENFORCEMENT AGENCY SHALL NOT ISSUE A CERTIFICATE OF OCCUPANCY UNTIL ALL REQUIRED CERTIFICATES OF VERIFICATION ARE POSTED AND MADE AVAILABLE TO THE BUILDING DEPARTMENT FOR ALL APPLICABLE INSPECTIONS, AND THAT ALL CERTIFICATES OF VERIFICATION CONFORM TO THE SPECIFICATIONS OF SECTION 10-103(A)5.

CONSULTANTS

ELECTRICAL, PLUMBING AND MECHANICAL ENGINEER:
 JOSEPH ZHANG
 JS ENGINEERS, INC.
 410 S. SAN GABRIEL BLVD. #8
 SAN GABRIEL, CA 91716
 TEL: 626-497-0558

SCOPE OF WORK

EMERGENCY HOMELESS SHELTER (PER LAMC SEC. 12.81).
 USE OF EXISTING SPACE, 64 BEDS TOTAL.
 PUBLICALLY FUNDED PROJECT
 BUILDING FULLY SPRINKLERED & PROVIDED WITH FIRE ALARM

SHEET INDEX

T-1	COVER SHEET SITE
A-1	DEMOLITION PLAN
A-2	PROPOSED FLOOR PLAN
A-3	CEILING PLAN
A-4	SECTIONS & ROOF PLAN
D-1	ADA RESTROOM DETAILS
D-2	ADA DETAILS
M-1	MECHANICAL LEGEND, NOTES AND SCHEDULE
M-2	MECHANICAL CEILING PLAN
M-3	MECHANICAL ROOF PLAN
M-4	MECHANICAL DETAILS
M-5	TITLE 24 BUILDING ENERGY ANALYSIS
M-6	TITLE 24 BUILDING ENERGY ANALYSIS
P-1	PLUMBING LEGEND, NOTES AND SCHEDULE
P-2	PLUMBING FLOOR PLAN - WATER
P-3	PLUMBING FLOOR PLAN - MASTER AND VENT
P-4	PLUMBING FLOOR PLAN - GAS
E-1	ELECTRICAL NOTES AND LEGEND
E-2	ELECTRICAL FLOOR PLAN
E-3	ELECTRICAL CEILING PLAN
E-4	ELECTRICAL ROOF PLAN
E-5	INDOOR TITLE 24 FORMS

C.B. HOME
DESIGN

1346 W. PHILADELPHIA ST.
ONTARIO, CA 91762
PHONE: (626) 279-5657
EMAIL: CBHOME626@GMAIL.COM

THESE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF C.B. HOME DESIGN. NO PART SHALL BE COPIED, REPRODUCED OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART, IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN CONSENT OF C.B. HOME DESIGN. VISUAL CONTACT WITH THESE DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE A FIRM-FACE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Volunteers of America
LOS ANGELES

OWNER INFO:
 VOLUNTEERS OF AMERICA
 LOS ANGELES
 3600 WILSHIRE BLVD STE. 1500
 LOS ANGELES, CA 90010

PROJECT ADDRESS:
 CONVERT WAREHOUSE TO
 EMERGENCY HOMELESS SHELTER
 2521 LONG BEACH AVE.
 LOS ANGELES, CA. 90058

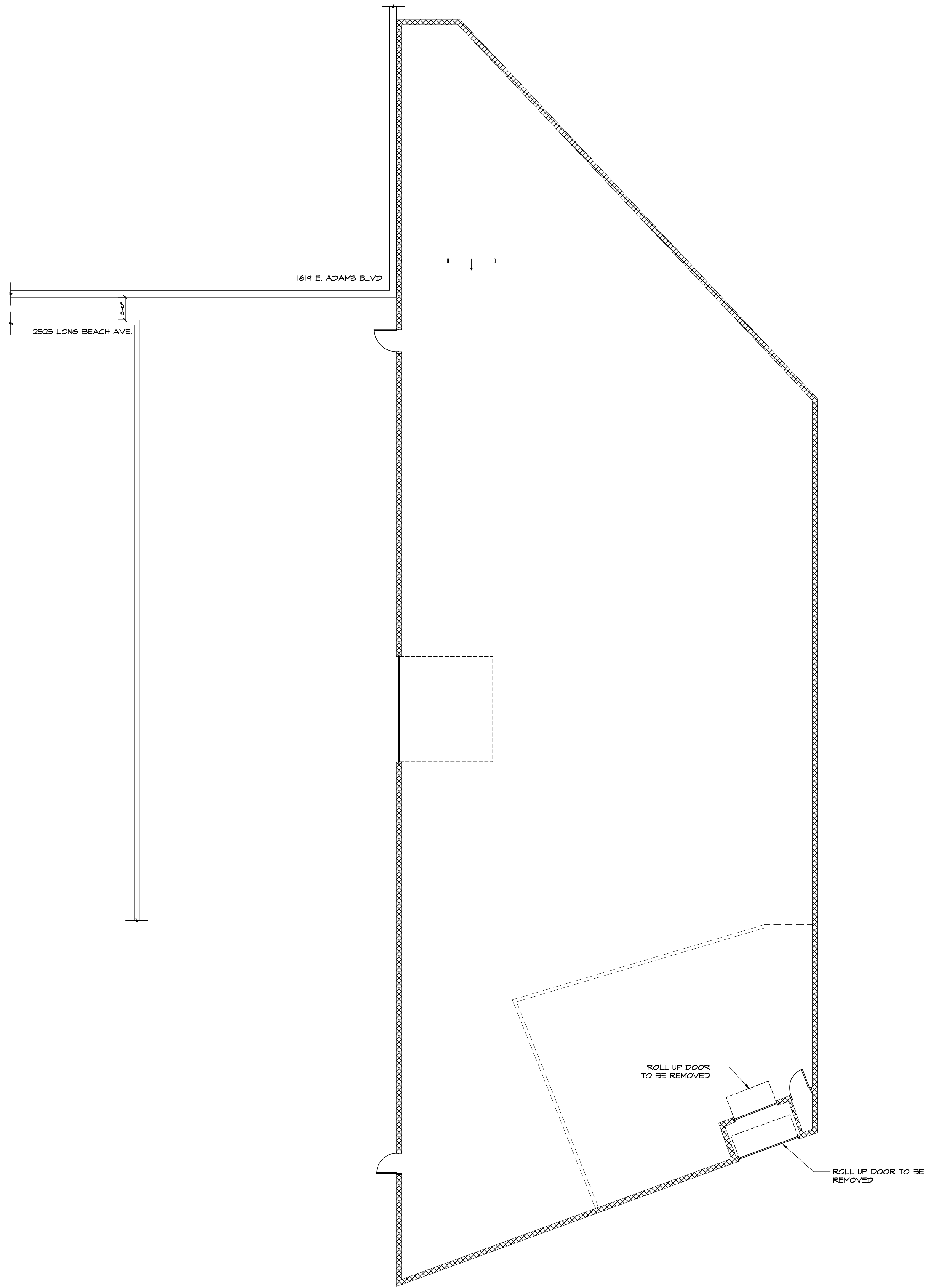
JOB NUMBER:
 VOA-008
DRAWN BY:
 LUIS CORTEZ
SCALE:
 1/16" = 1'-0"

REVISIONS:

SHEET TITLE:
 SITE PLAN

SHEET NO.:

T-1



DEMOLITION FLOOR PLAN
 1/4" = 1'-0"

GENERAL NOTES

1. PROVIDE LOW FLOW TOILETS (1.28 G/P), SHOWERHEADS (2.0 GPM), AND FAUCETS (1.5 GPM).
2. SHOWER MAX TEMPERATURE OF 120° TO BE PROVIDED BY THE USE OF PRESSURE BALANCE THERMOSTATIC MIXING VALVES.
3. WALL COVERINGS IN SHOWERS AND TUBS TO BE CEMENT PLASTER, TILE, OR EQUAL TO 2" ABOVE DRAIN. ENCLOSURES MUST BE OF APPROVED SAFETY GLAZING AND DOORS MUST swing OUT OF SHOWERS. WINDOWS IN ENCLOSURE WALLS SHALL BE LABELED SAFETY GLAZING WHEN LESS THAN 60" ABOVE THE DRAIN.
4. PROVIDE A MINIMUM ONE DEDICATED 20 AMPERE CIRCUIT TO BATHROOMS.
5. HEATING EQUIPMENT LOCATED IN AN ATTIC SPACE REQUIRING INSPECTION OR MAINTENANCE SHALL PROVIDE AN ACCESS OPENING NOT LESS THAN 30 INCHES BY 30 INCHES, A CONTINUOUS SOLID FLOOR NOT LESS THAN 24 INCHES AND A CLEAR SPACE OF 30" DEEP AND 30" WIDE LOCATED AT THE FRONT OF SERVICE SIDE OF EQUIPMENT.
6. FIRST SWITCH TO THE ENTRANCE OF BATHROOM(S) AND/OR KITCHEN SHALL BE A FLUORESCENT FIXTURE. (PLUG IN TYPE OR WITH BALLAST)
7. ALL BRANCH CIRCUITS THAT SUPPLY 15 & 20 AMP. RECEPTACLE OUTLETS INSTALLED IN BEDROOMS TO BE PROTECTED BY AN AFCI.
8. ALL DUCTING AND CONNECTORS FOR HEATING AND/OR AIR CONDITIONING SHALL BE UL 181 APPROVED.
9. ALL BRANCH CIRCUITS IN A SINGLE FAMILY RESIDENCE SHALL BE PROTECTED BY COMBINATION TYPE AFCI DEVICES, EXCEPT KITCHENS, BATHROOMS, GARAGES & BASEMENT.
10. A 12" MINIMUM ACCESS PANEL TO BATHTUB TRAP CONNECTION IS REQUIRED UNLESS PLUMBING IS WITHOUT SLIP JOINTS.
11. PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE FOR SHOWERS AND TUB SHOWERS.
12. THE CENTER OF THE 15,20 AND 30-AMPERE RECEPTACLES SHALL BE INSTALLED NOT LESS THAN 12" ABOVE THE FLOOR OR WORKING SURFACE.
13. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (SEPARATE PLUMBING PERMIT REQUIRED)
14. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
15. GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6
16. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2)
17. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68° AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE (R303.9)
18. DAMP PROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R406.1
19. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4
20. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LESIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
21. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R311.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH ANPA II FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF ANPA UI.

WALL SCHEDULE

- XXXXXXXXXX EXISTING CMU WALL
- EXIST. 2X STUD WALL TO BE REMOVED



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OWNER INFO:
 VOLUNTEERS OF AMERICA
 LOS ANGELES
 3600 WILSHIRE BLVD STE. 1500
 LOS ANGELES, CA 90010

PROJECT ADDRESS:
 CONVERT WAREHOUSE TO EMERGENCY HOMELESS SHELTER
 2521 LONG BEACH AVE.
 LOS ANGELES, CA. 90058

JOB NUMBER:
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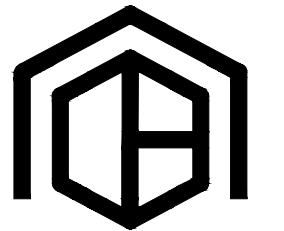
DRAWN BY:
 LUIS CORTEZ

SCALE:
 1/8" = 1'-0"

REVISIONS:
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SHEET TITLE:
 DEMOLITION PLAN

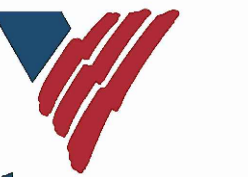
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Volunteers of America LOS ANGELES

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JOB NUMBER: VOA-008

DRAWN BY: LUIS CORTEZ

SCALE: 1/8" = 1'-0"

REVISIONS:

SHEET TITLE: PROPOSED FLOOR PLAN

SHEET NO:

A-2

GENERAL NOTES

NOTES:

- 1. ALL RESTROOMS AND EXITING / ENTRANCE DOORS TO BE SELF CLOSING.
2. ALL EQUIPMENT IS TO BE NSF AND INSTALLED TO NSF STANDARDS.
3. ALL EXIT/ENTRANCE DOORS SHALL BE TIGHT FITTING AND RODENT PROOF WITH OPENING GAP BELOW DOORS NOT TO EXCEED 1/4"
4. ALL EXTERIOR WINDOWS TO BE FIXED OR SCREENED IF OPENABLE.
5. INTERIOR OF COUNTER MUST BE FRP PANELING OR STAINLESS STEEL.
6. BATHROOM TO BE PROVIDED WITH LIGHT SWITCH ACTIVATED FAN AND DOOR TO BE TIGHT FITTING.
7. IF ANY EXISTING ACCESSIBILITY ELEMENTS ARE NOT IN COMPLIANCE WITH CURRENT CODE REQUIREMENTS, THEY SHALL BE UPGRADED TO THE ACCESSIBILITY REQUIREMENTS SHOWN ON THESE PLANS.
8. LIGHT COLORED FRP PANELS TO HAVE A MINIMUM LIGHT REFLECTING VALUE 70% OR HIGHER.
9. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN CBC TABLE 803.9.
10. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GASPING, FINCHING OR TWISTING OF THE WRIST. FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM. CBC 11B-309.4

OCCUPANT LOAD

Table with 4 columns: ROOM, OCC. LOAD, AREA, OCCUPANTS. Rows include OFFICE AREA, LAUNDRY, HOUSING / SLEEPING AREA.

TOTAL OCCUPANTS = 61

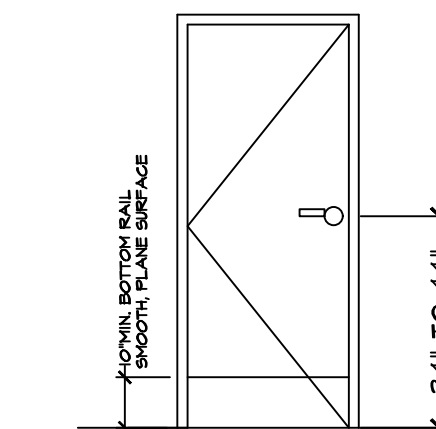
*OCCUPANT LOAD NOTE:

EXCEPT AS OTHERWISE STATED, THE MAXIMUM OCCUPANT LOAD ALLOWED IN BUILDINGS AND STRUCTURES USED AS EMERGENCY HOUSING SHALL BE DETERMINED BY THE ENFORCING AGENCY, BUT THE INTERIOR FLOOR AREA SHALL NOT BE LESS THAN 70 SQUARE FEET FOR ONE OCCUPANT. WHERE MORE THAN ONE PERSON OCCUPIES THE BUILDING/STRUCTURE, THE REQUIRED FLOOR AREA SHALL BE INCREASED AT THE RATE OF 50 SQUARE FEET FOR EACH OCCUPANT IN EXCESS OF ONE.

EGRESS DOORS SHALL MEET THE REQUIREMENTS OF CBC 1010.1.

DOOR SCHEDULE DETAIL 1 / D-1

Table with 7 columns: SYM., QTY., SIZE, THK, TYPE, MATERIAL, REMARKS. Lists door specifications for various rooms.

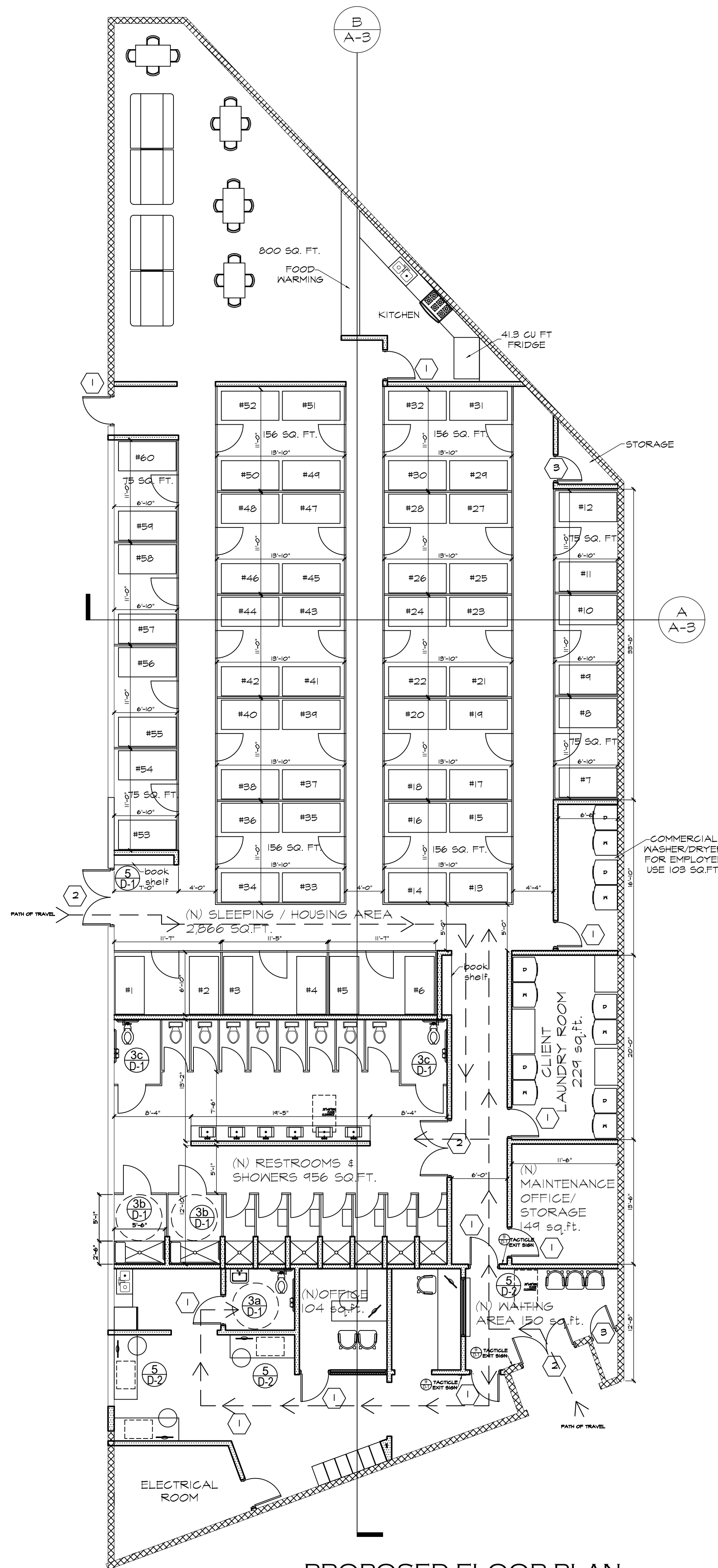


WINDOW SCHEDULE

Table with 7 columns: SYM., QTY., SIZE, TYPE, MATERIAL, U-FACTR, SHGC, REMARKS. Lists window specifications.

WALL SCHEDULE

- XXXXXXX EXISTING CMU WALL
NEW 2X4 STEEL STUD WALL AT 16" O.C.

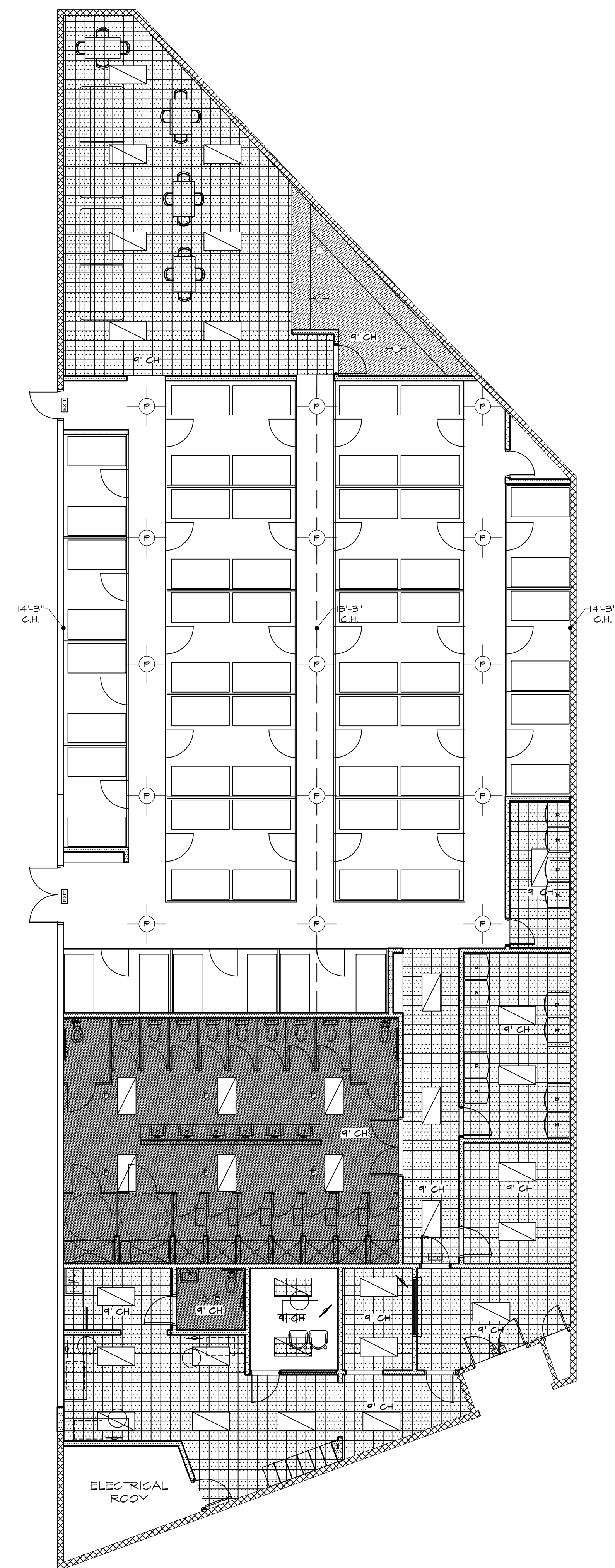
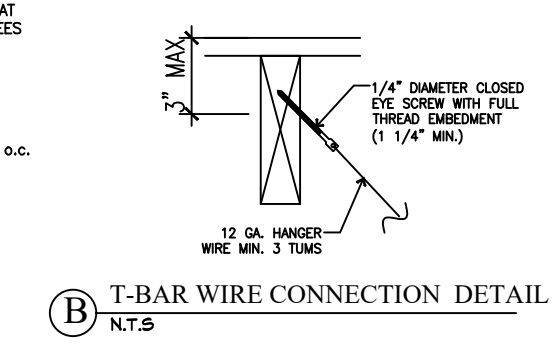
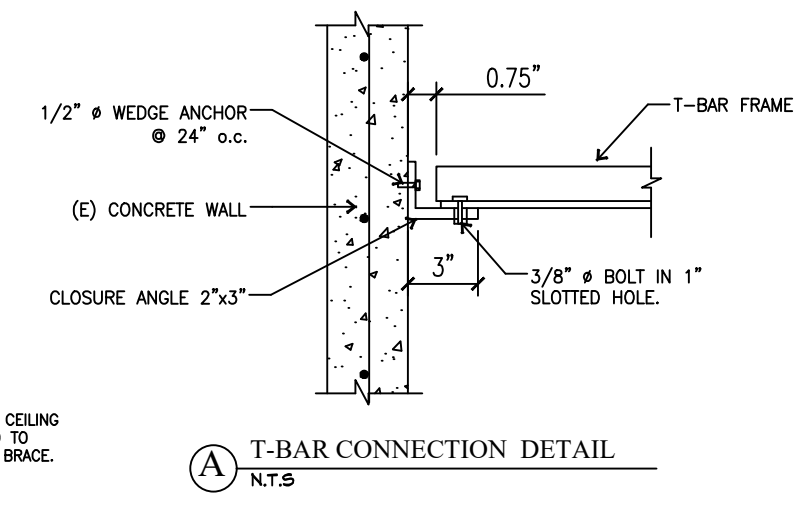
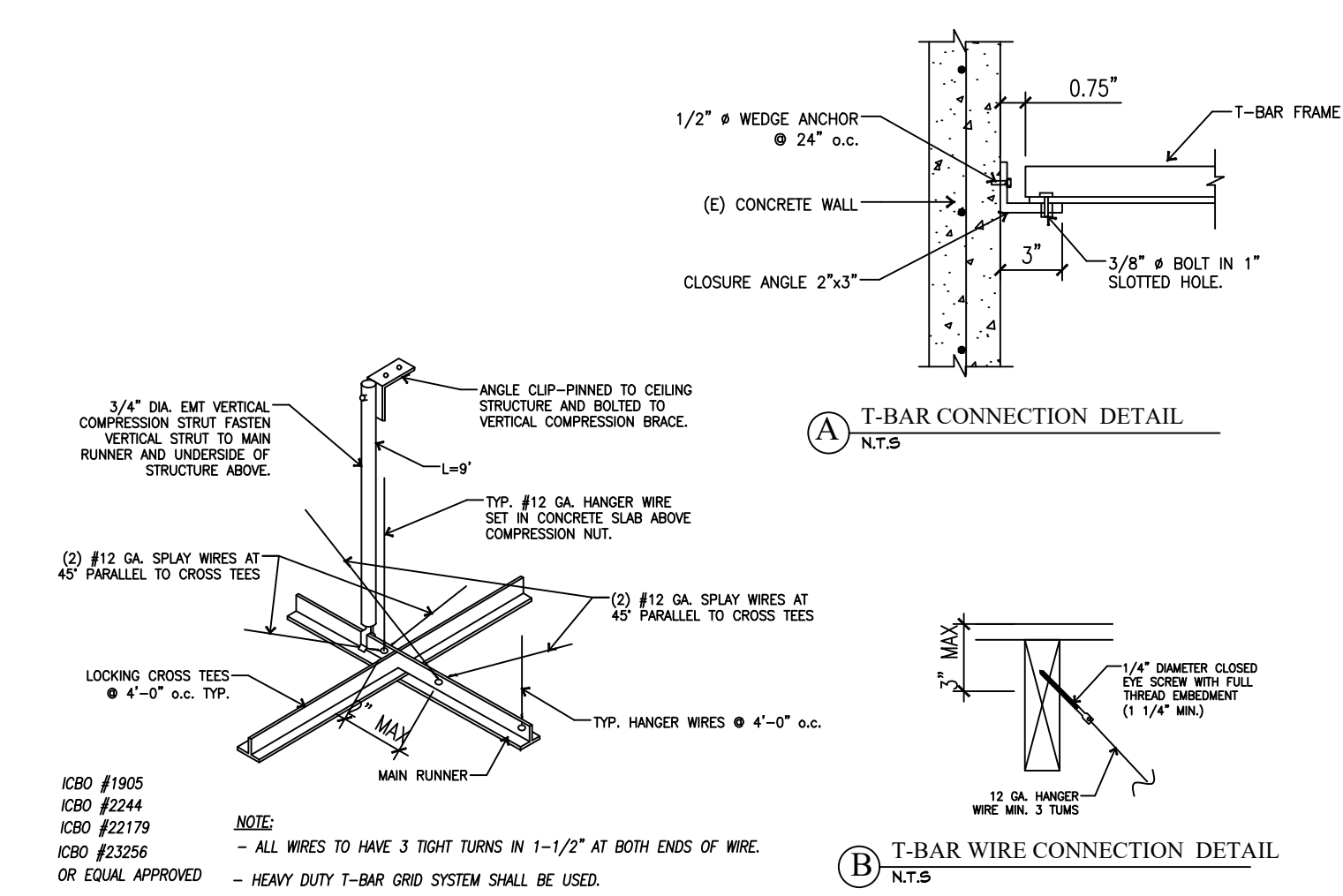
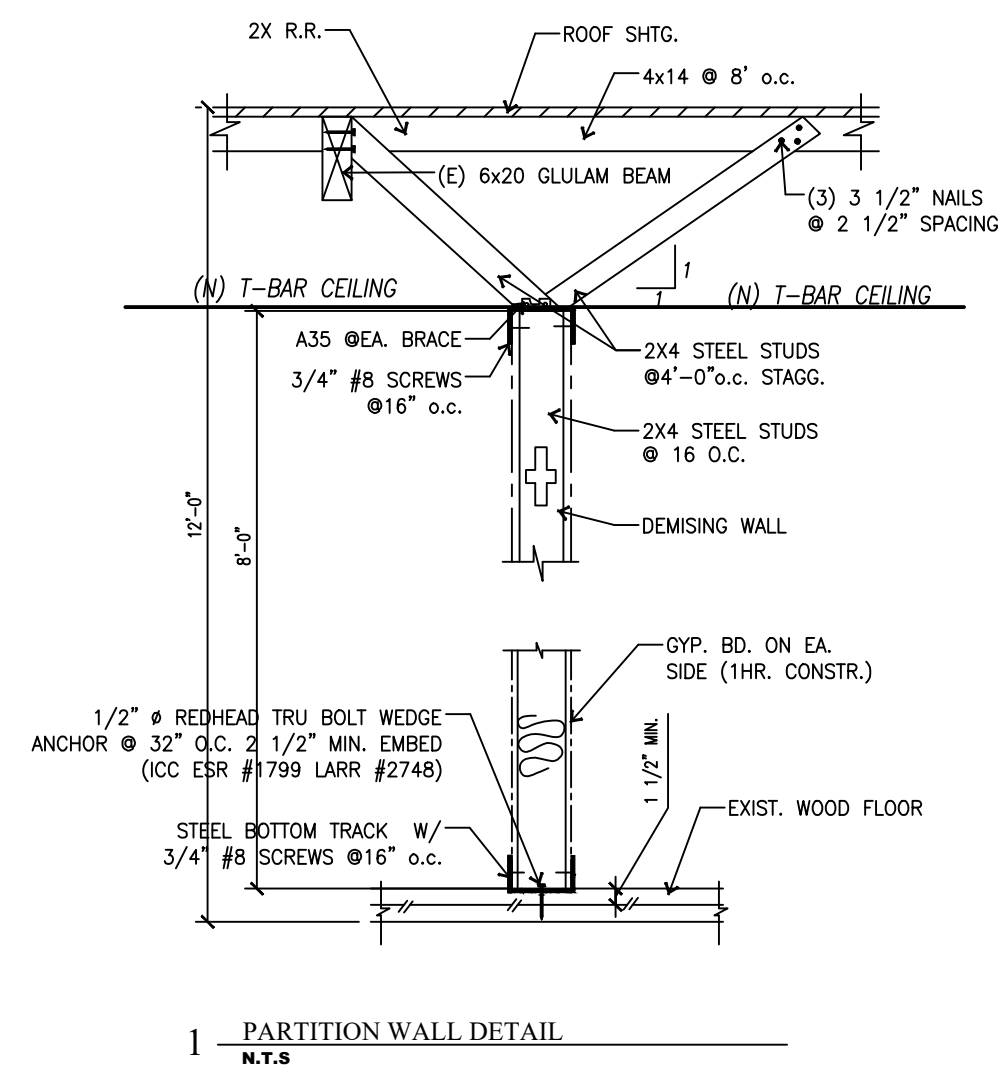


PROPOSED FLOOR PLAN

1/8" = 1'-0"

FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT TYPE. CBC 11B-302.1.

FINISH SCHEDULE table with 5 columns: DESCRIPTION, FLOOR, BASE COVE, WALL, CEILING. Lists finish requirements for various rooms.



WALL SCHEDULE

- XXXXXXXXXX EXISTING CMU WALL
- ===== NEW 2X4 STEEL STUD WALL AT 16\"/>

CEILING SCHEDULE

- DRYWALL, LIGHT COLOR, SEMI-GLOSS PAINT, SMOOTH FINISH
- LIGHTED EXIT SIGN WITH BATTERY BACKUP AND EMERGENCY FLOOD LIGHTS 90 MINUTES MIN.
- EMERGENCY POWER ILLUMINATION PROVIDE AT LEAST 90 MINS. POWER (TYP.)
- CEILING MOUNTED PENDULUM LIGHT (HIGH EFFICACY)
- CEILING MOUNTED LIGHT (HIGH EFFICACY)
- ACOUSTICAL CEILING (2 A-3)
- (E) FLORESCENT OFFICE LIGHT

NOTE:
 1. THE MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED.
 2. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL BE NOT LESS THAN ONE-FOOT CANDLE AT THE WALKING SURFACE. CBC 100B.2.1



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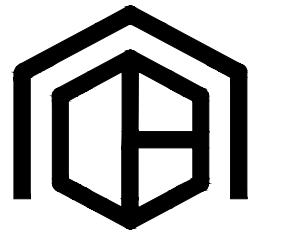
OWNER INFO:
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 LOS ANGELES
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 LOS ANGELES, CA 90010

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JOB NUMBER:
 VOA-008
DRAWN BY:
 LUIS CORTEZ
SCALE:
 1/8" = 1'-0"
REVISIONS:
 .
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SHEET TITLE:
 CEILING PLAN

SHEET NO.:



C.B. HOME
— DESIGN —

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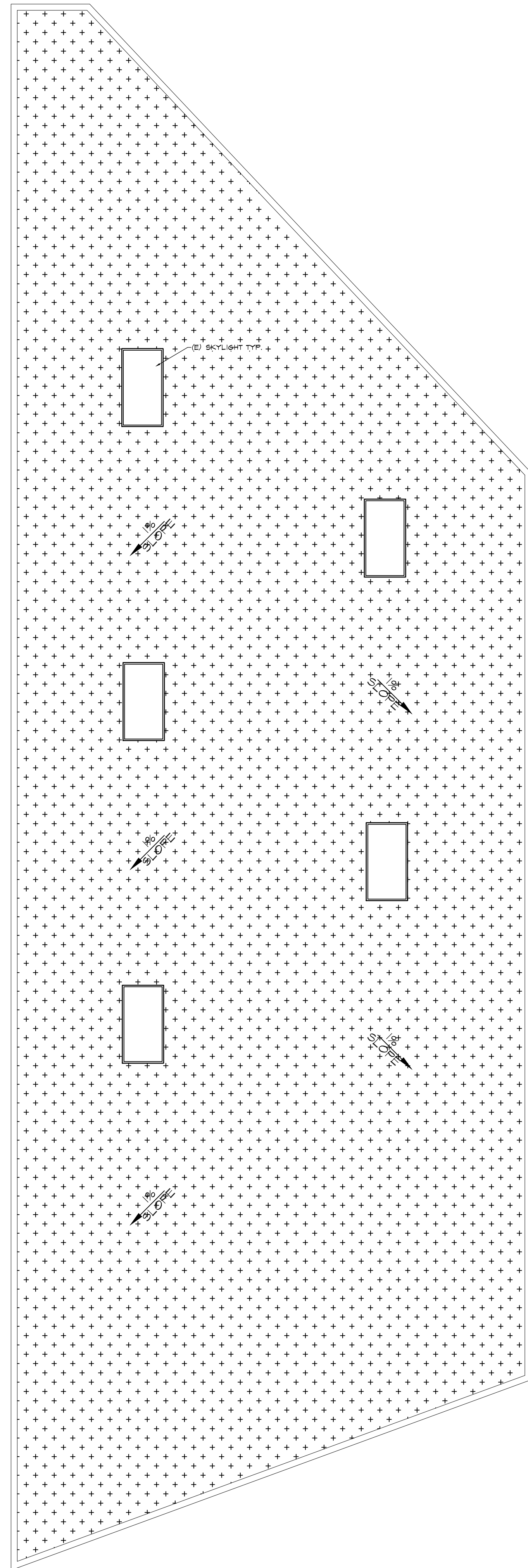
SCALE:
1/8" = 1'-0"

REVISIONS:

SHEET TITLE:
SECTIONS & ROOF PLAN

SHEET NO.:

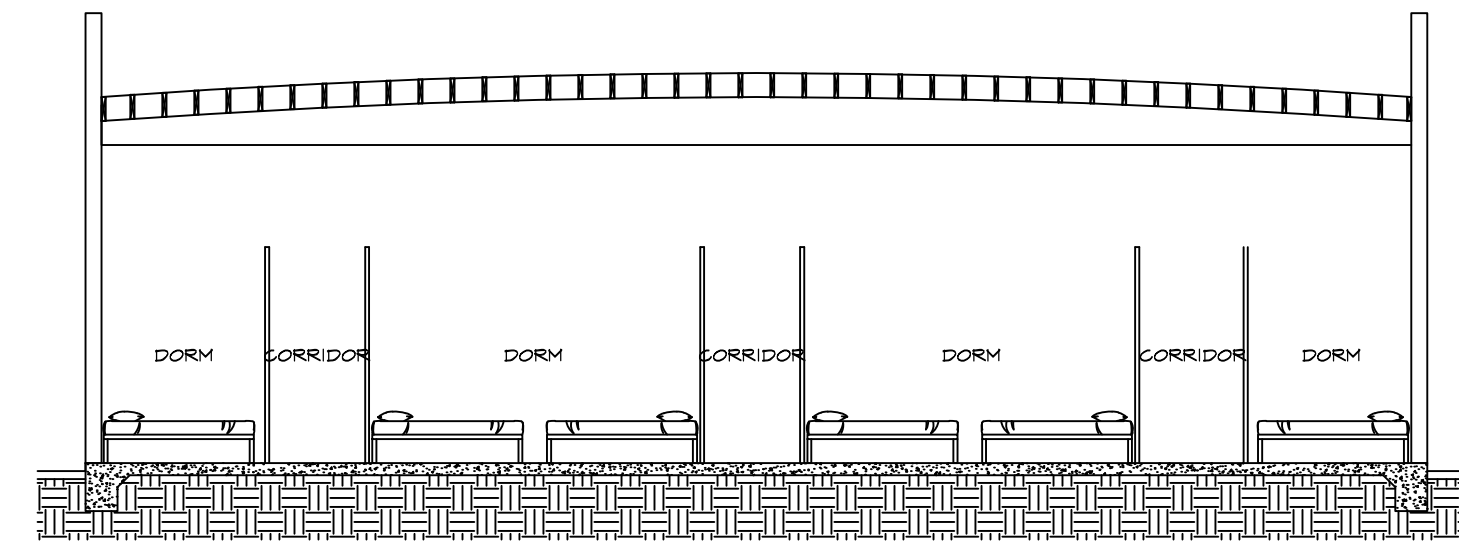
A-4



SCHEDULE

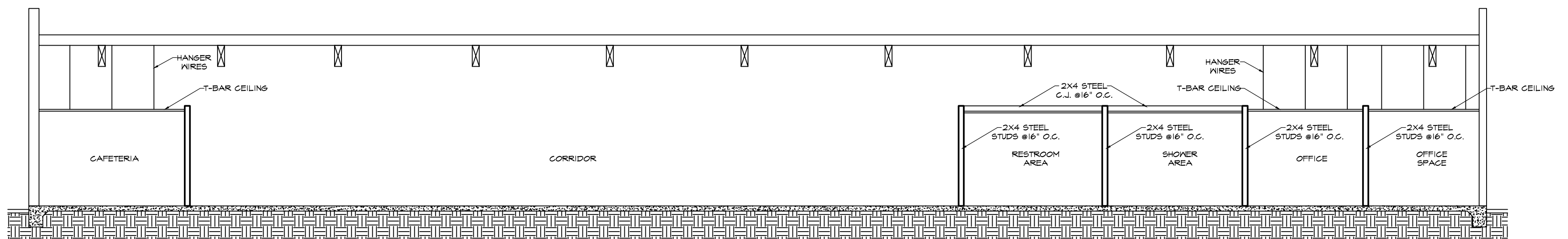
XXXXXXXXXX (E) CMU WALL

+ + + + (E) ROLLED TORCH DOWN



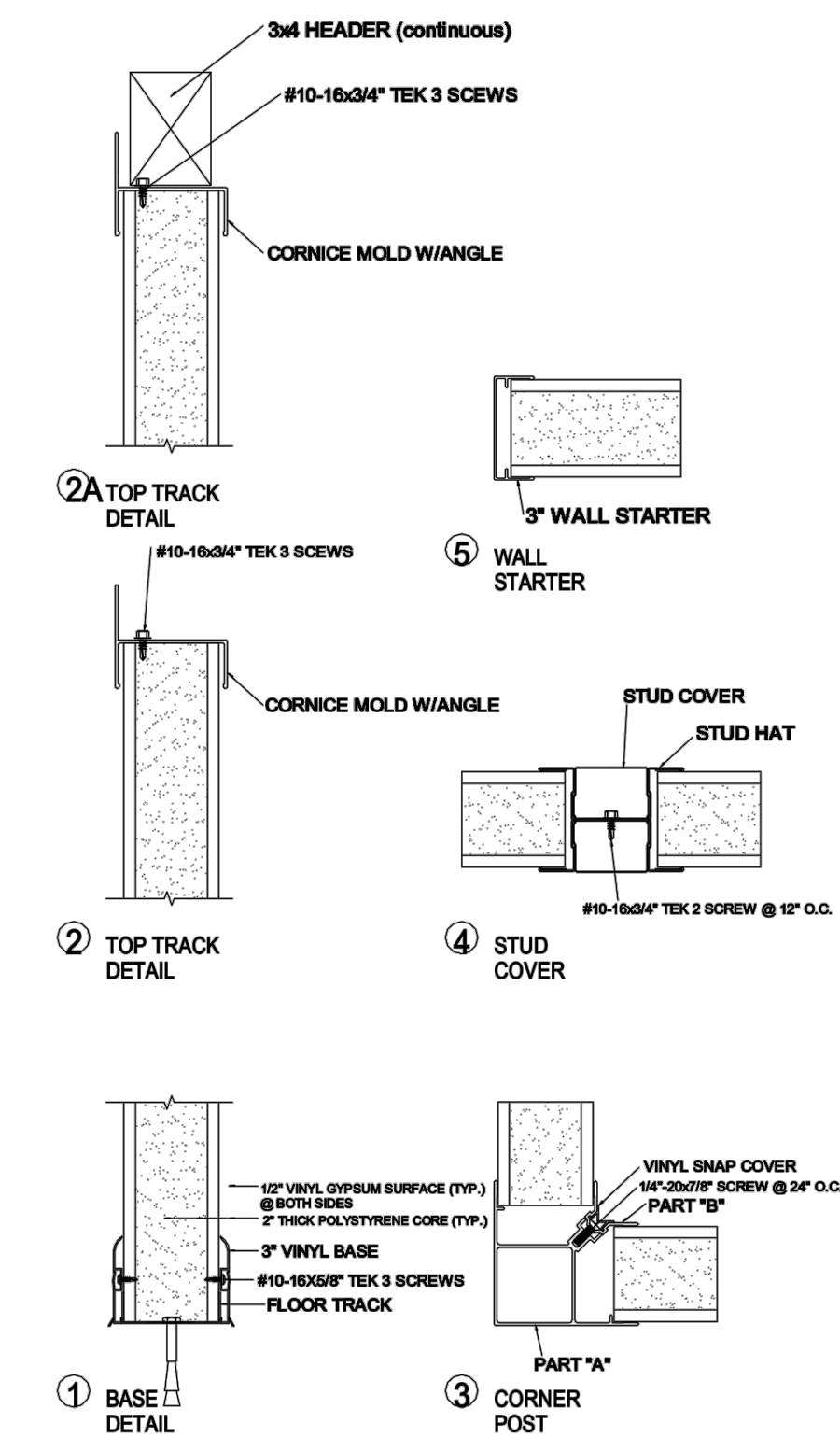
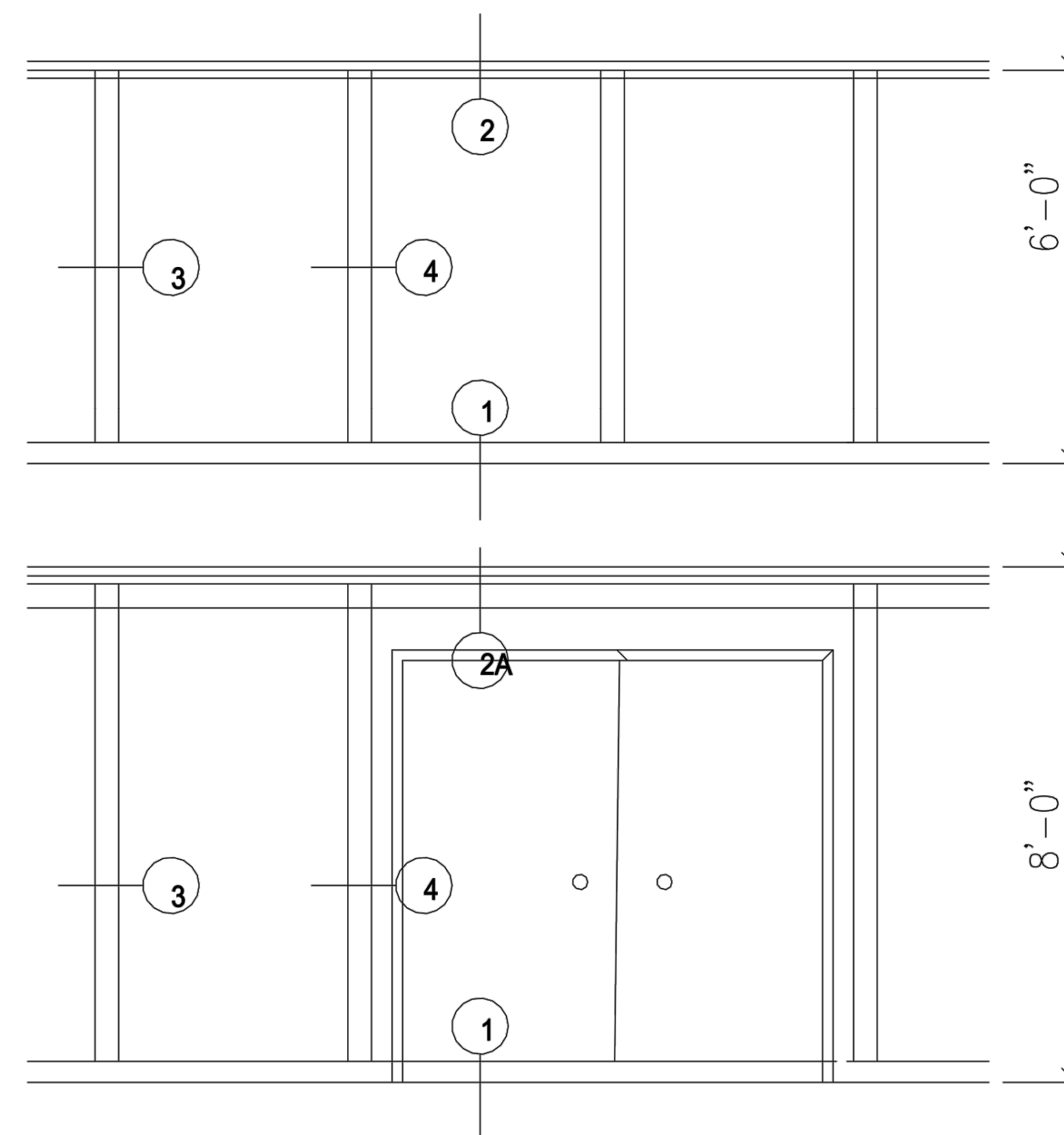
SECTION - A

1/8" = 1'-0"



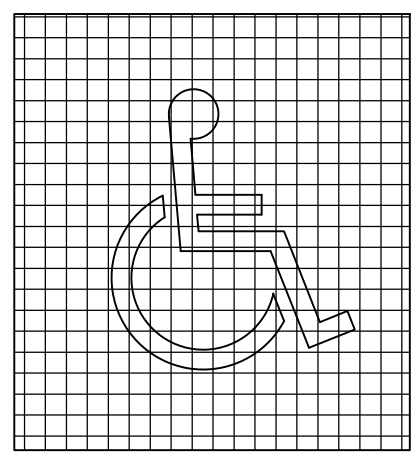
SECTION - B

1/8" = 1'-0"

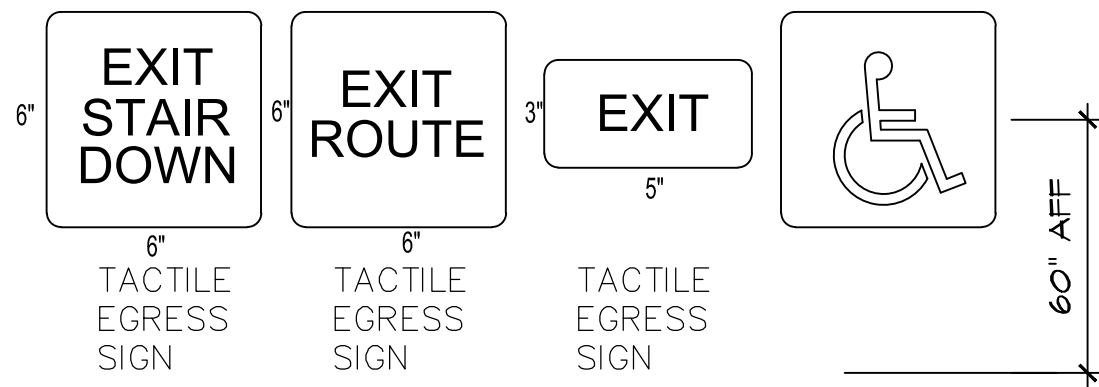


PARTITION WALL DETAIL

N.T.S.



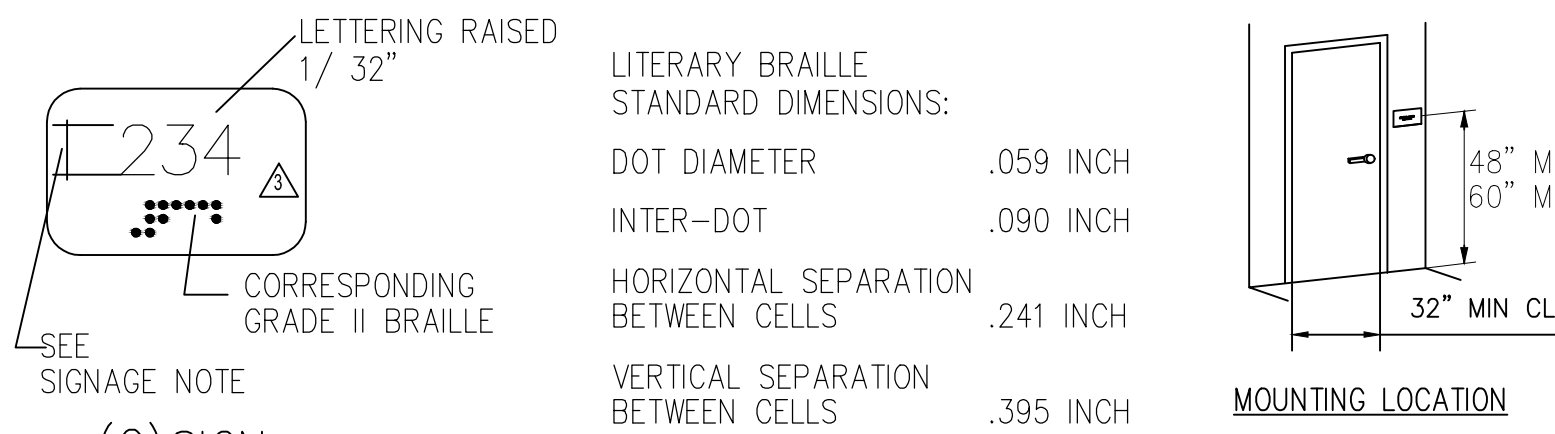
(a) PROPORTIONS



- NOTE:
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IS INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE A MINIMUM OF 6" IN HEIGHT.
 - MOUNTING LOCATION ALLOWS A PERSON TO APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.
 - SIGN SHALL BE DISTINCTLY DIFFERENT IN COLOR AND CONTRAST.
 - TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. IIB-108.4.1



(b) DISPLAY CONDITIONS



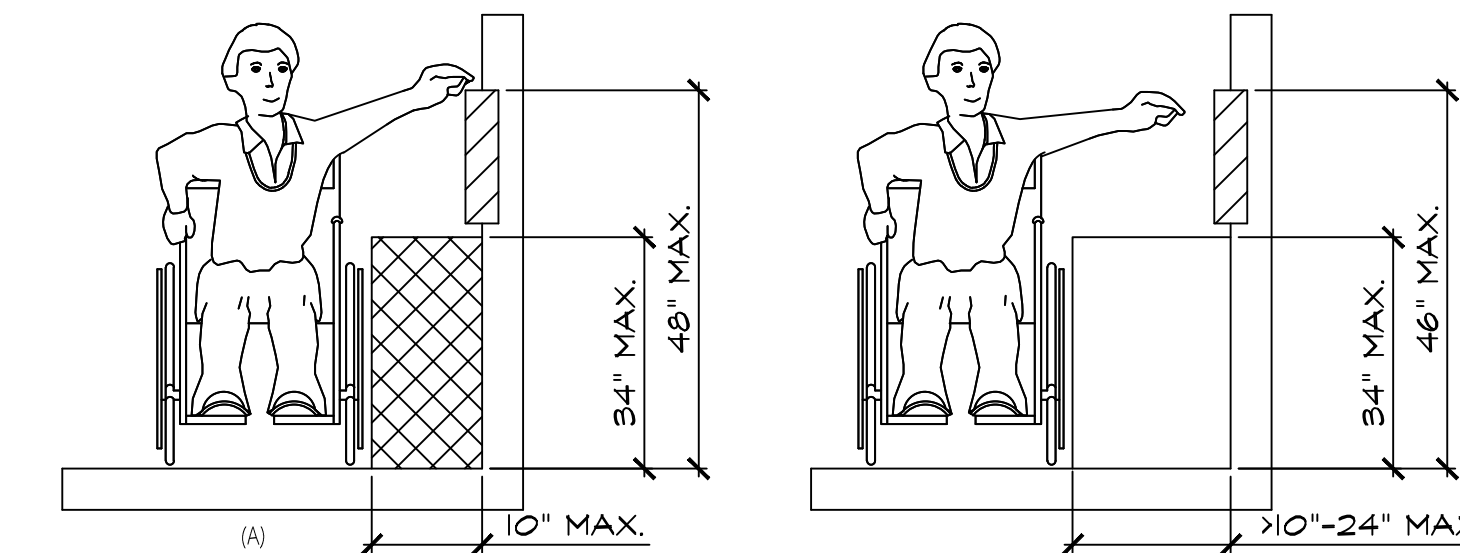
(c) SIGN

ENTRANCES & EXITS

- NOTE: EXIT AS DEFINED IS "A CONTINUOUS & UNOBSTRUCTED MEANS OF EGRESS TO A PUBLIC WAY & SHALL INCLUDE INTERVENING AISLES, DOORS, DOORWAYS, GATES, CORRIDORS, EXTERIOR EXIT BALCONIES, RAMP
- NOTE: PUBLIC WAY AS DEFINED IS "ANY STREET, ALLEY OR SIMILAR PARCEL OF LAND ESSENTIALLY UNOBSTRUCTED FROM THE GROUND TO THE SKY WHICH IS DEEDED, DEDICATED, OR OTHERWISE PERMANENTLY APPROPRIATED TO THE PUBLIC FOR PUBLIC USE & HAVING A CLEAR WIDTH OF NOT LESS THAN 10'. NOTE: FOR THE PURPOSES OF TITLE 24, THE USE OF THE TERM EXIT DOOR IN SECTION 3304 APPLIES TO ALL DOORS THAT PROVIDE ACCESS, THAT IS, ENTRANCES, PASSAGE, DOORS, C)
- ALL ENTRANCES AND ALL EXTERIOR GROUND FLOOR EXIT DOORS TO BUILDINGS & FACILITIES SHALL MADE ACCESSIBLE PERSONS WITH DISABILITIES.
 - ELEVATORS ESCALATORS SHALL NOT USED REQUIRED EXIT.
 - REVOLVING DOORS SHALL NOT BE USED AS A REQUIRED ENTRANCE FOR PERSONS WITH DISABILITIES.
 - DURING PERIODS OF PARTIAL OR RESTRICTED USE OF A BUILDING OR FACILITY, THE ENTRANCES USED FOR PRIMARY ACCESS SHALL ACCESSIBLE AND USABLE PERSON WITH DISABILITIES. RECESSED DOORMATS SHALL BE ADEQUATELY ANCHORED PREVENT INTERFERENCE WITH WHEELCHAIR TRAFFIC.
 - ALL GATES, INCLUDING TICKET GATES, SHALL MEET ALL APPLICABLE ACCESSIBILITY SPECIFICATIONS DOORS.
 - EVERY REQUIRED EXIT DOORWAY WHICH IS LOCATED WITHIN AN ACCESSIBLE PATH OF TRAVEL SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3' IN WIDTH & NOT LESS THEN 8'-8" HEIGHT.
 - THE SPACE BETWEEN 2 CONSECUTIVE DOOR OPENINGS IN A VESTIBULE, SERVING OTHER THAN A REQUIRED EXIT STAIRWAY, SHALL PROVIDE A MINIMUM OF 48" CLEAR SPACE FROM ANY DOOR OPENING INTO SUCH VESTIBULE WHEN THE DOOR IS POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. DOORS IN A SERIES SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOORS.
 - IN EXISTING STAIRWAYS WHERE THERE IS NO LANDING, DOORS SHALL BE CONSPICUOUSLY MARKED WITH A SIGN STATING "DANGER! STAIRWAY-NO LANDING" OR EQUIVALENT WORDING & THERE SHALL ADEQUATE ILLUMINATION.

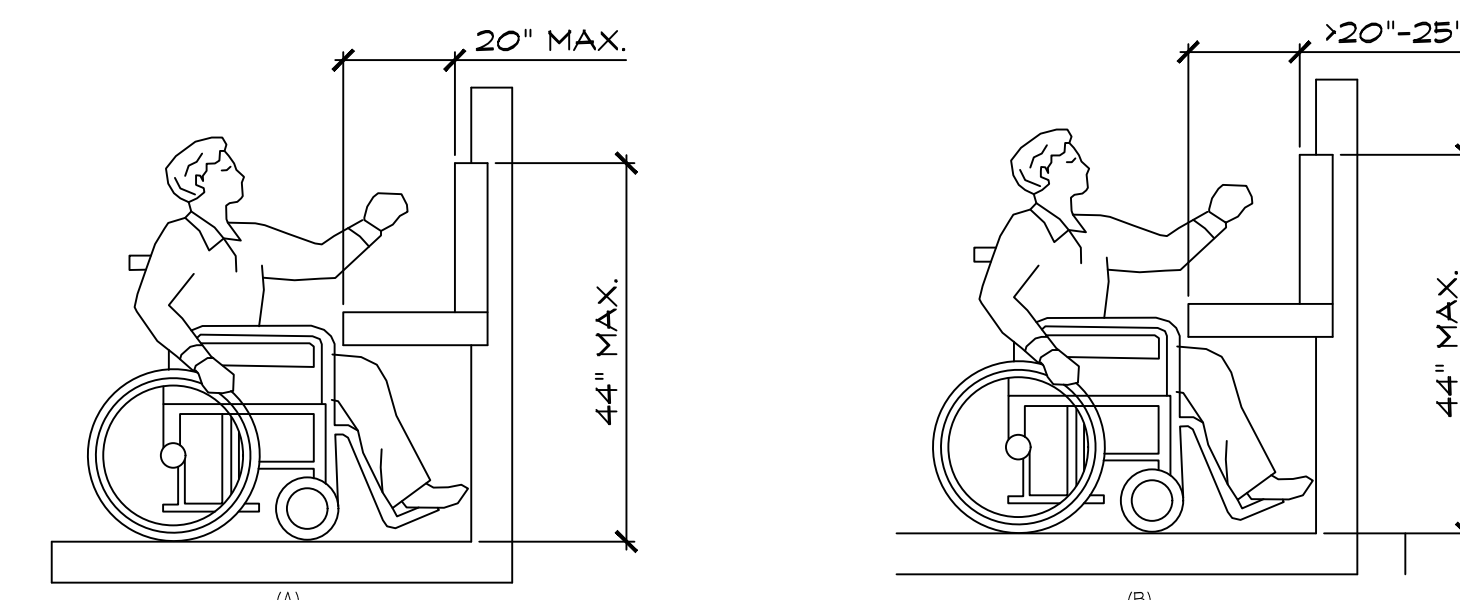
ENTRANCES & EXITS SYMBOLS

SCALE: N.T.S 9



HIGH SIDE REACH

SCALE: N.T.S 10



FORWARD REACH

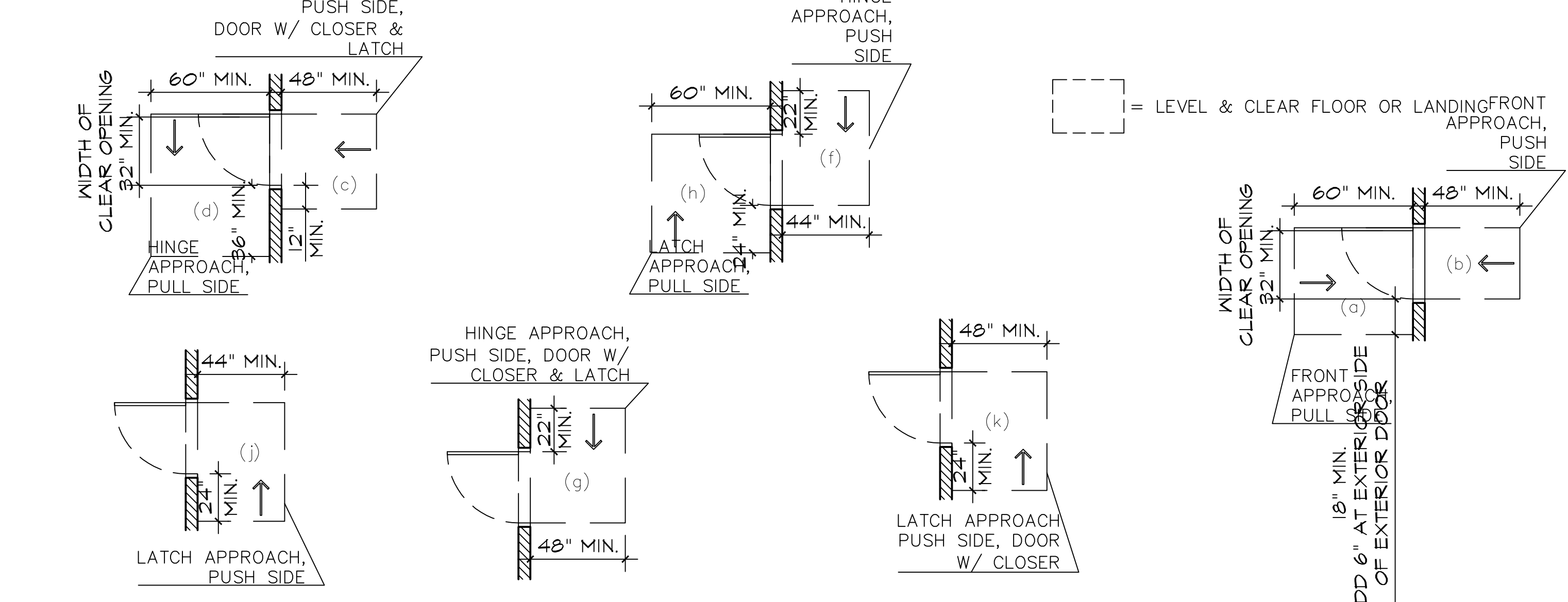
SCALE: N.T.S 11

11B-305.2 FLOOR OR GROUND SURFACE. FLOOR OR GROUND SURFACES OF A CLEAR FLOOR OR GROUND SPACE SHALL COMPLY WITH SECTION 11B-302. CHANGES IN LEVEL ARE NOT PERMITTED.

EXCEPTION: SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 11B-404.1 GENERAL. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 11B-404.

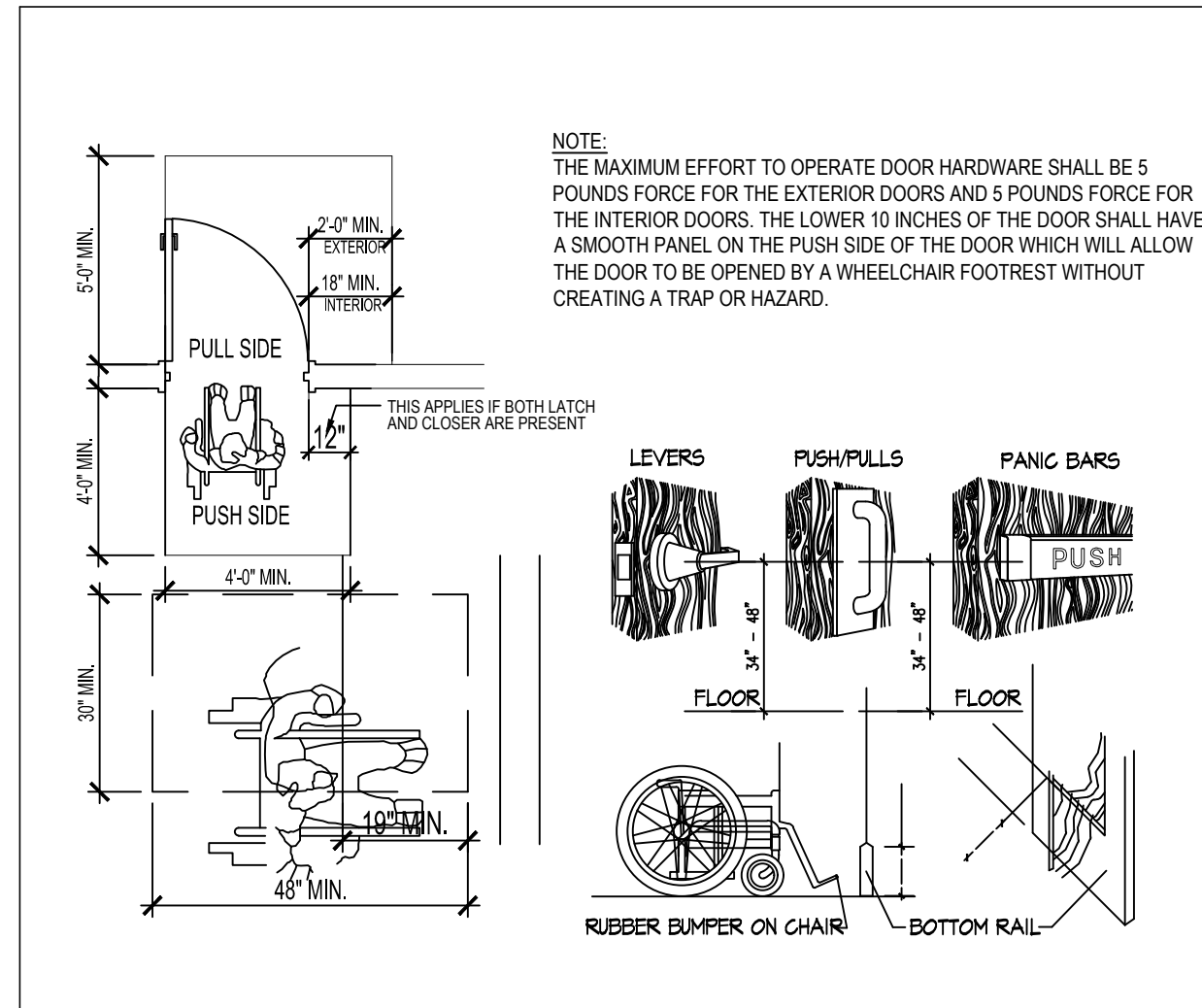
- EXCEPTIONS:
- DOORS, DOORWAYS AND GATES DESIGNED TO BE OPERATED ONLY BY SECURITY PERSONNEL SHALL NOT BE REQUIRED TO COMPLY WITH SECTIONS 11B-404.2.7, 11B-404.2.8, 11B-404.2.9, 11B-404.3.2 AND 11B-404.3.4 THROUGH 11B-404.3.7. A SIGN VISIBLE FROM THE APPROACH SIDE COMPLYING WITH SECTION 11B-703.5 SHALL BE POSTED STATING "ENTRY RESTRICTED AND CONTROLLED BY SECURITY PERSONNEL".
 - AT DETENTION AND CORRECTIONAL FACILITIES, DOORS, DOORWAYS AND GATES DESIGNED TO BE OPERATED ONLY BY SECURITY PERSONNEL SHALL NOT BE REQUIRED TO COMPLY WITH SECTIONS 11B-404.2.7, 11B-404.2.8, 11B-404.2.9, 11B-404.3.2 AND 11B-404.3.4 THROUGH 11B-404.3.7.
- 11B-404.2 MANUAL DOORS, DOORWAYS, AND MANUAL GATES. MANUAL DOORS AND DOORWAYS AND MANUAL GATES INTENDED FOR USER PASSAGE SHALL COMPLY WITH SECTION 11B-404.2.
- 11B-404.2.1 REVOLVING DOORS, GATES, AND TURNSTILES. REVOLVING DOORS, REVOLVING GATES AND TURNSTILES SHALL NOT BE PART OF AN ACCESSIBLE ROUTE.
- 11B-404.2.2 DOUBLE-LEAF DOORS AND GATES. AT LEAST ONE OF THE ACTIVE LEAVES OF DOORWAYS WITH TWO LEAVES SHALL COMPLY WITH SECTIONS 11B-404.2.3 AND 11B-404.2.4.
- 11B-404.2.4.1 SWINGING DOORS AND GATES. SWINGING DOORS AND GATES SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH TABLE 11B-404.2.4.1.
- 11B-404.2.4.3 RECESSED DOORS AND GATES. MANEUVERING CLEARANCES FOR FORWARD APPROACH SHALL BE PROVIDED WHEN ANY OBSTRUCTION WITHIN 18 INCHES OF THE LATCH SIDE AT AN INTERIOR DOORWAY, OR WITHIN 24 INCHES OF THE LATCH SIDE OF AN EXTERIOR DOORWAY, PROJECTS MORE THAN 8 INCHES BEYOND THE FACE OF THE DOOR, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR OR GATE.
- 11B-404.2.6.1 DOOR CLOSERS & GATE CLOSERS. DOOR CLOSERS & GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM LATCH IS 5 SECONDS MINIMUM.
- 11B-404.2.9 DOOR AND GATE OPERATING FORCE. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE SHALL BE AS FOLLOWS: (THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR OR GATE IN A CLOSED POSITION)

- INTERIOR HINGED DOORS AND GATES: 5 LBS MAXIMUM.
 - SLIDING OR FOLDING DOORS: 5 LBS MAXIMUM.
 - REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS.
 - EXTERIOR HINGED DOORS: 5 LBS MAXIMUM.
- 11B-404.2.10 DOOR AND GATE SURFACES. SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISHED FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL AND VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED LICK PLATES SHALL BE CAPPED.
- EXCEPTIONS:
- SLIDING DOORS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-404.2.10.
 - TEMPERED GLASS DOORS WITHOUT STILES AND HAVING A BOTTOM RAIL OR SHOE WITH THE TOP LEADING EDGE TAPERED AT 60 DEGREES MINIMUM FROM HORIZONTAL SHALL NOT BE REQUIRED TO MEET THE 10 INCH BOTTOM SMOOTH SURFACE HEIGHT REQUIREMENT.
 - DOORS AND GATES THAT FRONT APPROACH, WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B404.2.10.

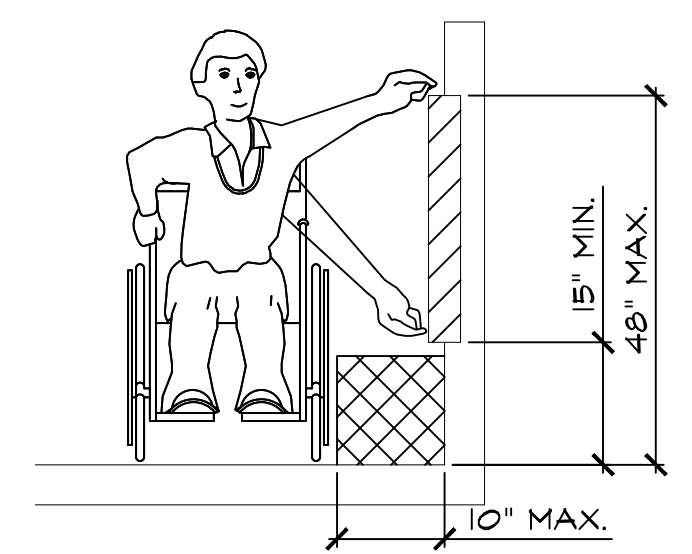


MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES SCALE: N.T.S 1

DOORS & HARDWARE SCALE: N.T.S 2

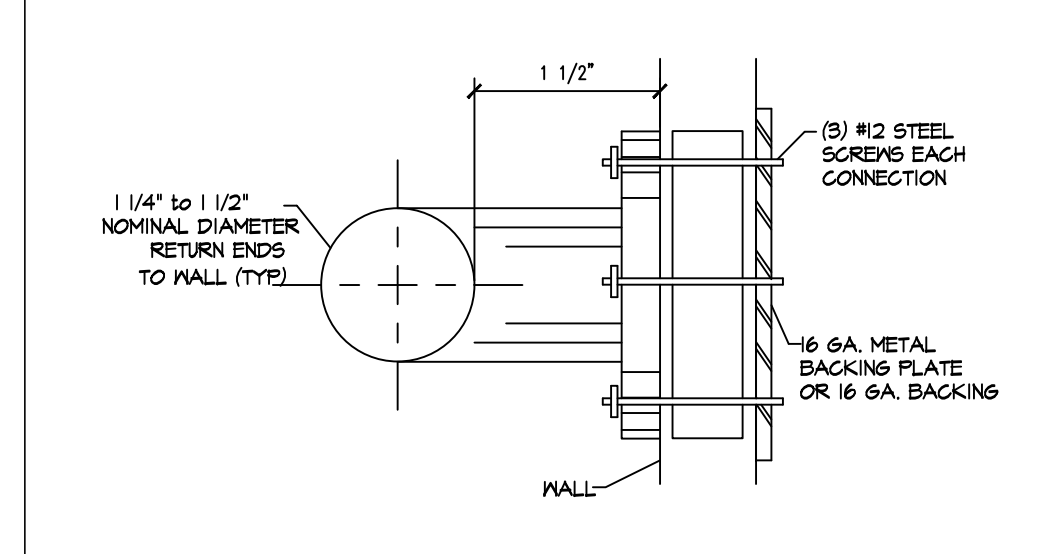


11B-308.3.1 WHERE A CLEAR FLOOR OR GROUND SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT AND THE SIDE REACH IS UNOBSTRUCTED, THE HIGH SIDE REACH SHALL BE 48 INCHES (1219 MM) MAXIMUM AND THE LOW SIDE REACH SHALL BE 15 INCHES (381 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND.



LOW REACH & HIGH SIDE REACH SCALE: N.T.S 5

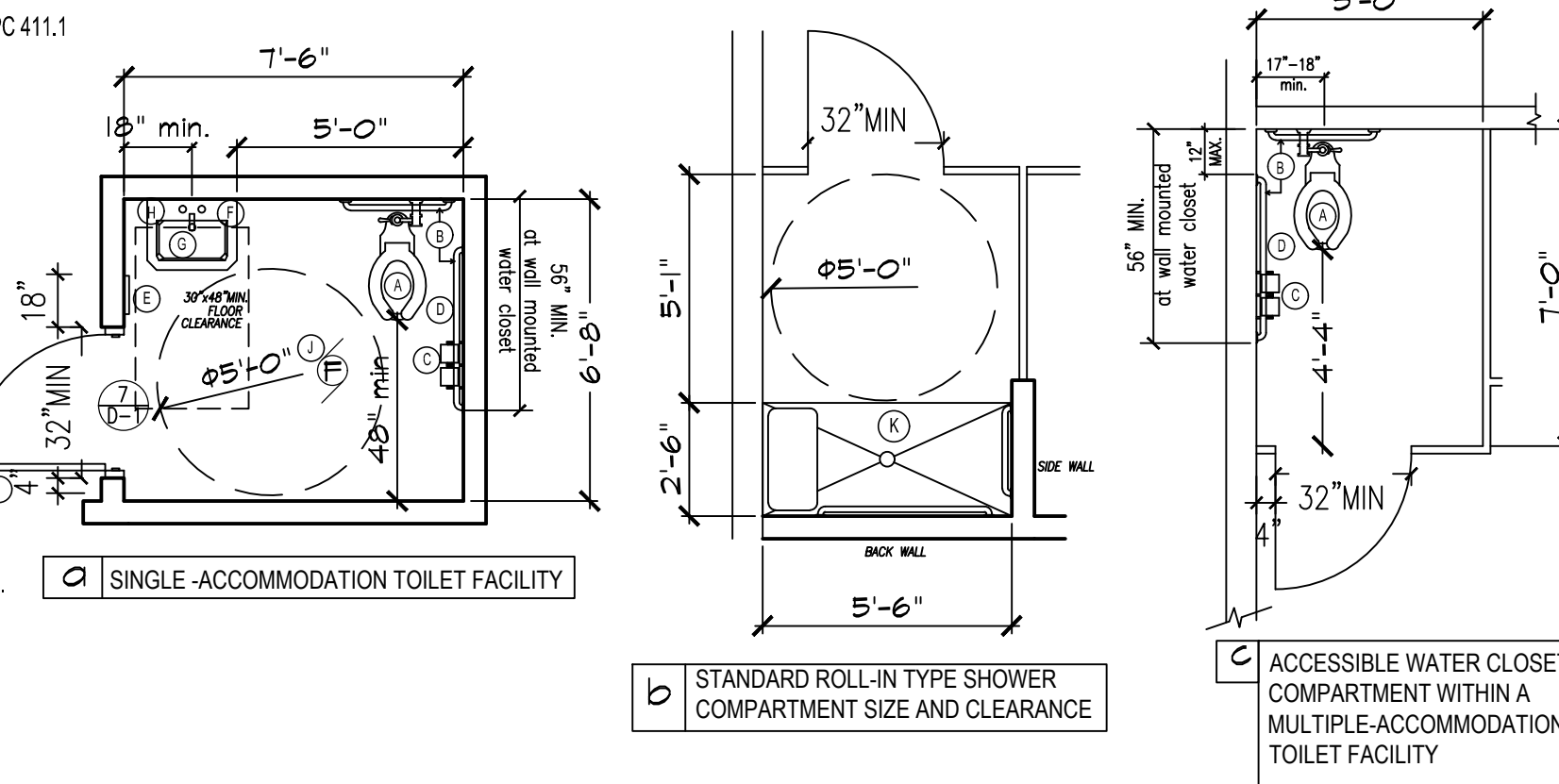
NOTE: GRAB BARS SHALL COMPLY WITH SECTION 11B-609. A SIDE-WALL GRAB BAR COMPLYING WITH SECTION 11B-604.5.1 SHALL BE PROVIDED AND SHALL BE LOCATED ON THE WALL CLOSEST TO THE WATER CLOSET. IN ADDITION, A REAR-WALL GRAB BAR COMPLYING WITH SECTION 11B-604.5.2 SHALL BE PROVIDED, WHERE SEPARATE GRAB BARS ARE REQUIRED ON ADJACENT WALLS AT A COMMON MOUNTING HEIGHT, AN L-SHAPED GRAB BAR MEETING THE DIMENSIONAL REQUIREMENTS OF SECTIONS 11B-604.5.1 AND 11B-604.5.2 SHALL BE PERMITTED.



GRAB BAR CONN. SCALE: N.T.S 4

RESTROOM EXISTING FIXTURES AND ACCESSORIES:

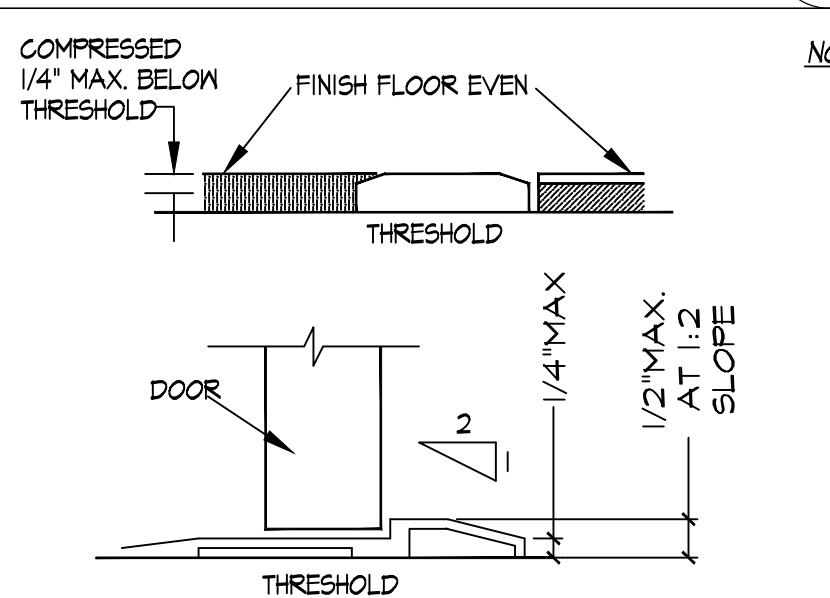
- ELONGATED FLOOR MOUNTED WATER CLOSET (HCAP ACCESSIBLE) CPC 411.1
 - 1/2" S.S. GRAB BAR @ 34" A.F.F. (42L @ SIDE & 36L @ BACK) SEE DETAIL 410-1
 - TOILET PAPER HOLDER @ 24" A.F.F.
 - TOILET-SEAT-COVER DISP. (@ 44 1/2" (TOP) A.F.F. IN HCAP COMP.)
 - PAPER TOWEL DISP. & WASTE RECEPTACLE (HCAP ACCESSIBLE)
 - MIRROR (HCAP ACCESSIBLE) TO 7H
 - DROP-IN LAVATORIES W/ HOT/COLD WATER SUPPLY (HCAP ACCESSIBLE, 34" A.F.F. MAX.) (DETAIL 110-2)
 - SOAP DISPENSER
 - RESTROOM A.D.A. SYMBOL SEE DTL. 2/D-2
 - LIGHT SWITCH ACTIVATED VENTILATION FAN
- NOTE: 1. THE EXHAUST FAN TO BE ACTIVATED W/LIGHT SWITCH
2. SEE DETAIL 110-2 FOR MORE ADA RESTROOM REQUIREMENTS.



EXISTING ADA RESTROOM SCALE: 1/4" = 1'-0" 3

ELECTRICAL CONTROLS AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF A ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED WITHIN ALLOWABLE REACH RANGES. LOW REACH SHALL BE MEASURED TO THE BOTTOM OF THE OUTLET BOX AND HIGH REACH SHALL BE MEASURED FROM THE TOP OF THE OUTLET BOX CBC 11B-206.2.8

CONTROL DEVICE LOCATIONS N.T.S 8



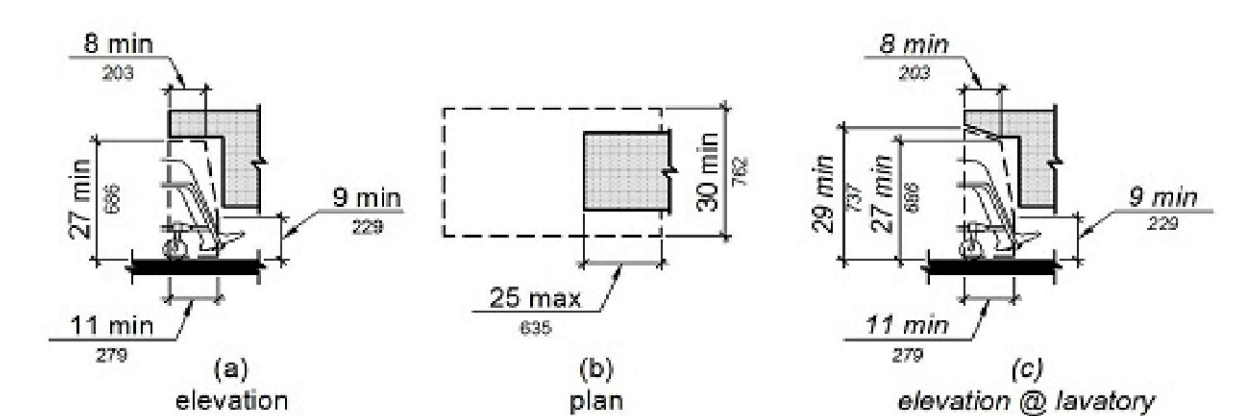
* DOOR THRESHOLDS LANDINGS OR FLOOR LEVEL AT DOORS SHALL NOT BE MORE THAN 1/4" INCH BELOW THE THRESHOLD. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4" INCH AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL.

THRESHOLD SCALE: N.T.S 7

NOTES: FLOOR LEVEL CHANGES

- IF A MINIMUM 9 INCHES HEIGHT OF TOE CLEARANCE IS PROVIDED, A MAXIMUM OF 6 INCHES OF THE 48 INCHES OF CLEAR FLOOR SPACE REQUIRED AT THE FIXTURE MAY EXTEND INTO THE TOE SPACE.
- IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS OR SPECIAL ACCESS LIFTS.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES, INCLUDING FLOORS, WALKS, STAIR AND CURB RAMPS, SHALL BE STABLE, FIRM AND SLIP RESIST.
- CHANGES IN LEVEL UP TO 1/4" MAY BE VERTICAL AND WITHOUT EDGE TREATMENT.
- CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE ACCOMPLISHED BY MEANS OF RAMP NO STEEPER THAN 1 VERT. TO 2 HORIZONTAL.
- CHANGES IN LEVEL GREATER THAN 1/2 INCH SHALL BE MEANS OF A CURB RAMP, RAMP OR ELEVATOR.
- IF CARPET OR CARPET TILE IS USED ON A GROUND OR FLOOR SURFACE, IT SHALL BE SECURELY ATTACHED; HAVE A FIRM CUSION, PAD BACK OR NO CUSION OR PAD; HAVE A LEVEL LOOP, LEVEL CUT PILE OR LEVEL CUT/UNCUT PILE TEXTURE. THE MAX.
- IF GRATINGS AR LOCATED ON FLOORS, THEN THEY SHALL HAVE SPACES NO GREATER THAN 1/2 INCH WIDE IN ONE DIRECTION. IF GRATINGS HAVE ELONGATED OPENINGS, THEN THEY SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO DOMINANT DIRECTION OF TRAVEL.

THRESHOLD SCALE: N.T.S 7



KNEE CLEARANCE SCALE: N.T.S 6



1168 SAN GABRIEL BLVD SUITE P ROSEMEAD, CA 91770 PHONE: (626) 279-5657 EMAIL: CBHOME26@GMAIL.COM

THESE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF C.B. HOME DESIGN. NO PART SHALL BE COPIED, REPRODUCED OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART, IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN CONSENT OF C.B. HOME DESIGN. VISUAL CONTACT WITH THESE DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE A PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

OWNER INFO: VOLUNTEERS OF AMERICA LOS ANGELES 3600 WILSHIRE BLVD STE. 1500 LOS ANGELES, CA 90010

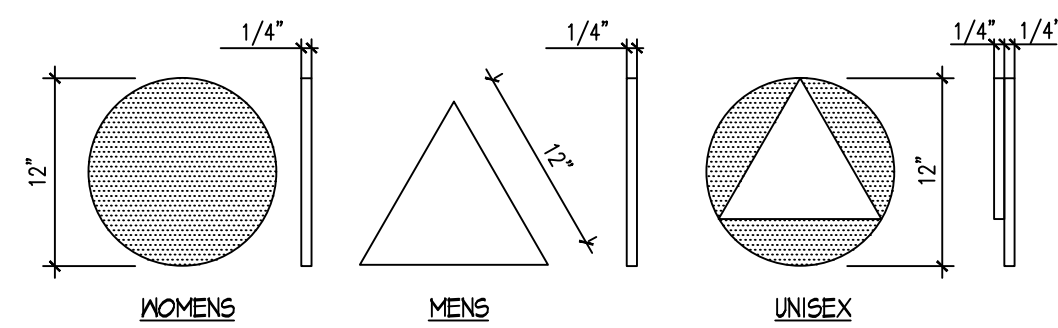
PROJECT ADDRESS: CONVERT WAREHOUSE TO EMERGENCY HOMELESS SHELTER 2521 LONG BEACH AVE. LOS ANGELES, CA. 90058

JOB NUMBER: VOA-008 DRAWN BY: LUIS CORTEZ SCALE: 1/4" = 1'-0" REVISIONS:

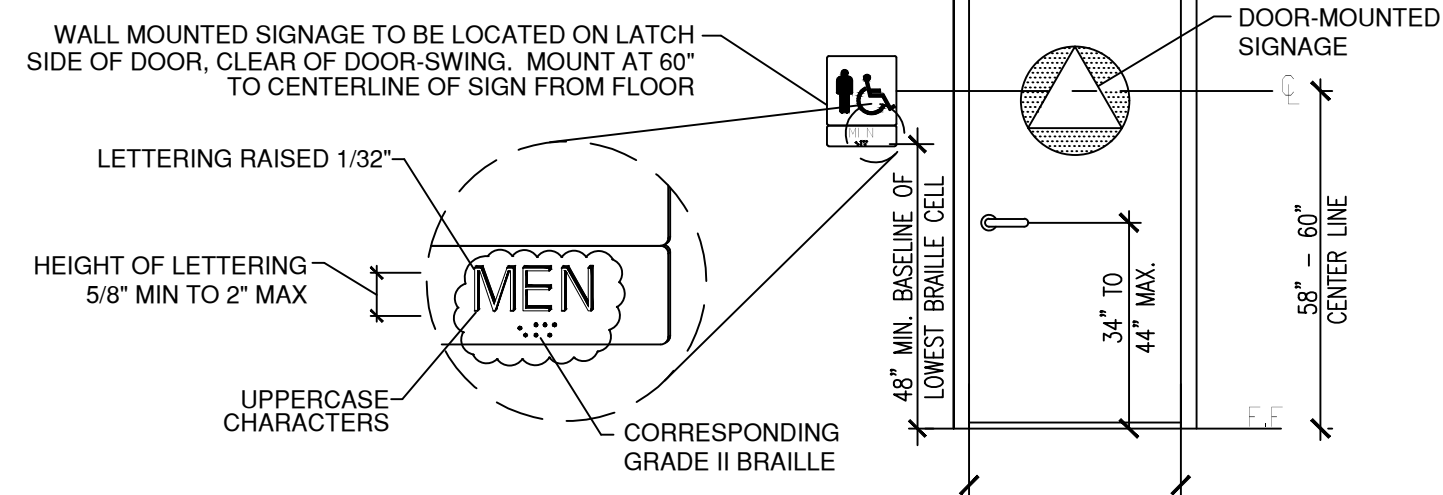
SHEET TITLE: ADA RESTROOM DETAILS

SHEET NO:

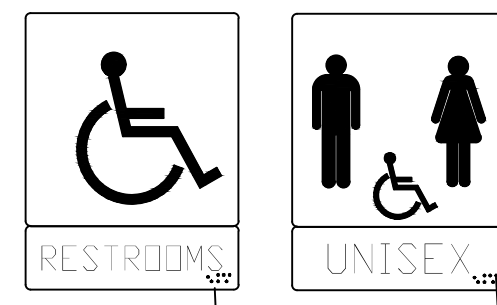
D-1



DOOR MOUNTED SIGNAGE (TYP)
NOTE: PICTOGRAMS AND/OR LETTERING ARE NOT REQUIRED ON DOOR-MOUNTED SIGNAGE.

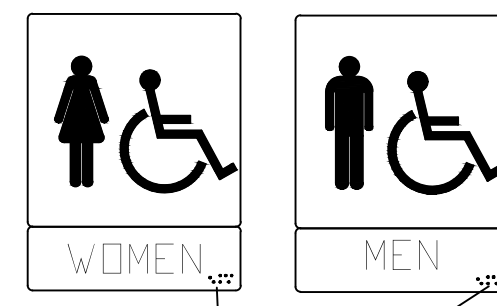


RESTROOM SIGNAGE



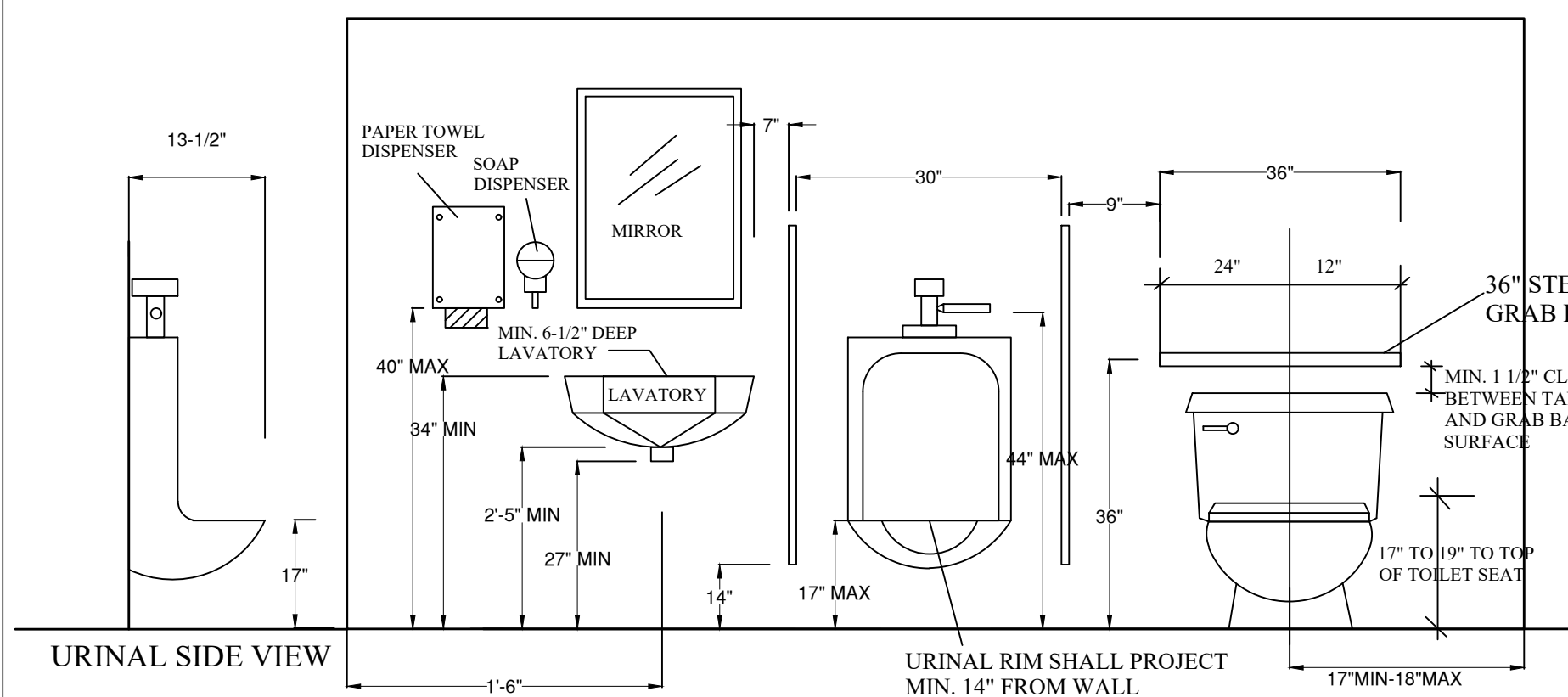
GRADE II BRAILLE

WALL-SIGNAGE (TYP)



GRADE II BRAILLE

SCALE: N.T.S. 2



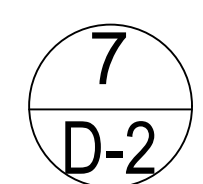
URINAL SIDE VIEW

URINAL RIM SHALL PROJECT MIN. 14" FROM WALL

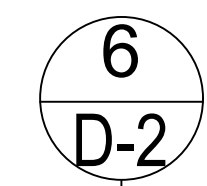
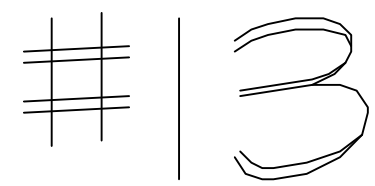
FIG. 5.5 TOILET COMPARTMENT ELEVATION N.T.S.

URINAL / TOILET COMPARTMENT ELEVATION

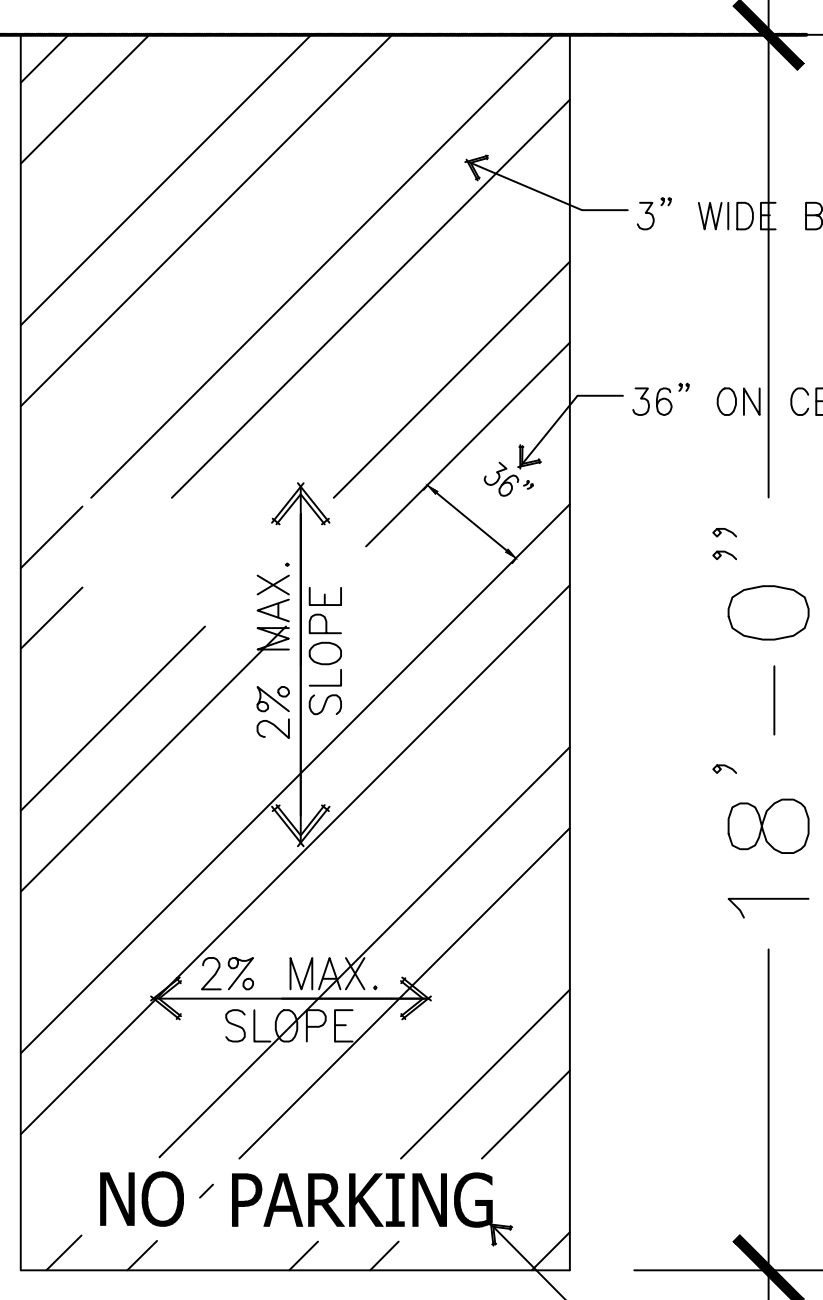
SCALE: N.T.S. 1



70 SQ. INCHES ACCESSIBILITY SIGN PER SECTION 11B-502.6



TYP. PAVEMENT SYMBOL PER SECTION 1129B.4



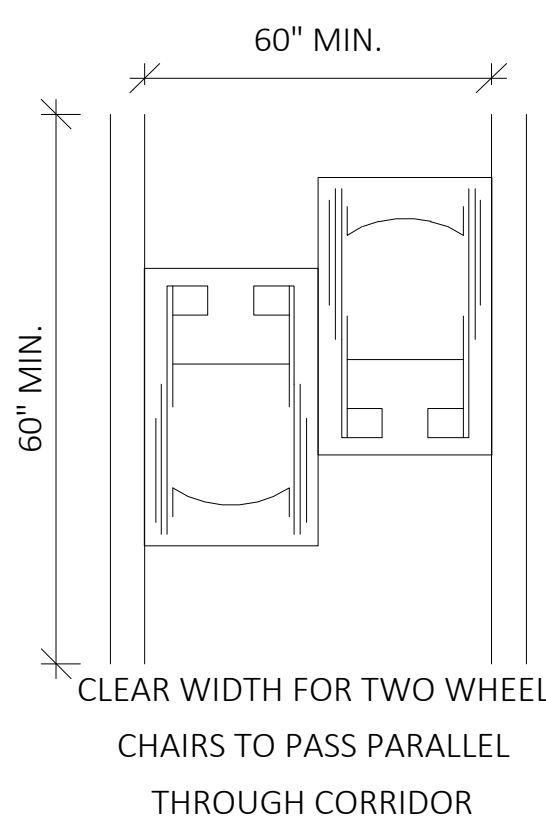
WITHIN THE LOADING AND UNLOADING ACCESS AISLE PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS MIN.

DIMENSIONS TO CENTERLINE OF STRIPE TYPICAL

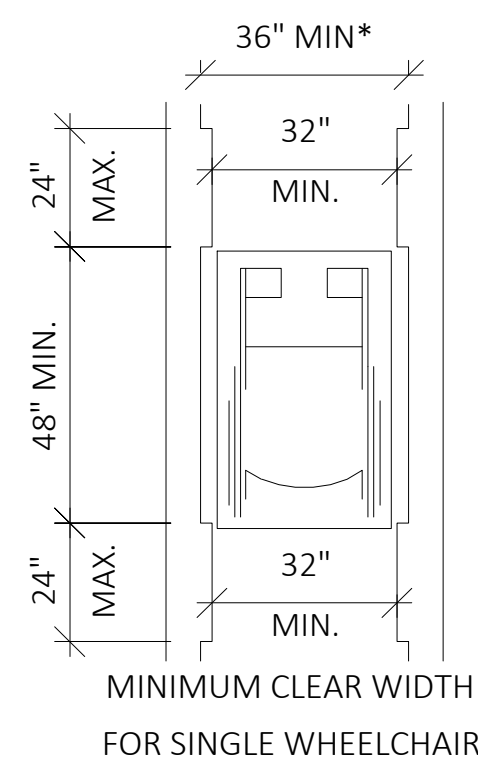
5'-0" MIN. AT TYP. ACCESSIBLE PARKING STALL.
8'-0" MINIMUM AT VAN ACCESSIBLE PARKING STALL

A.D.A PARKING STALL

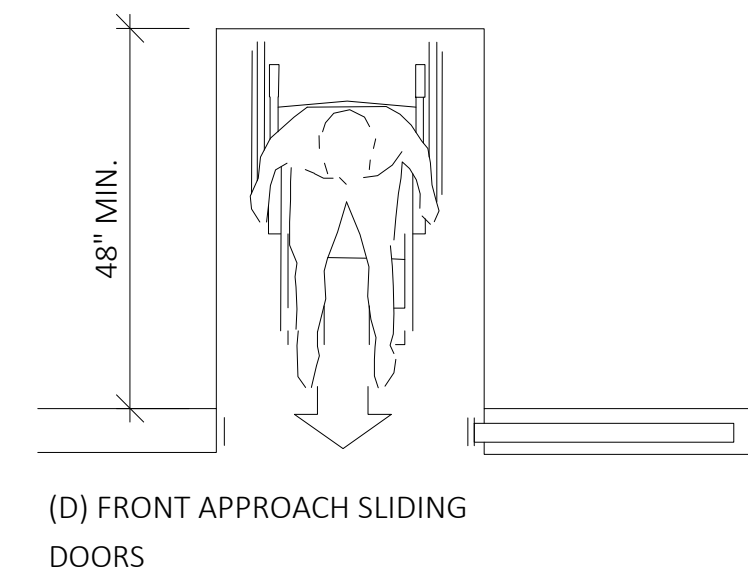
N.T.S. 9



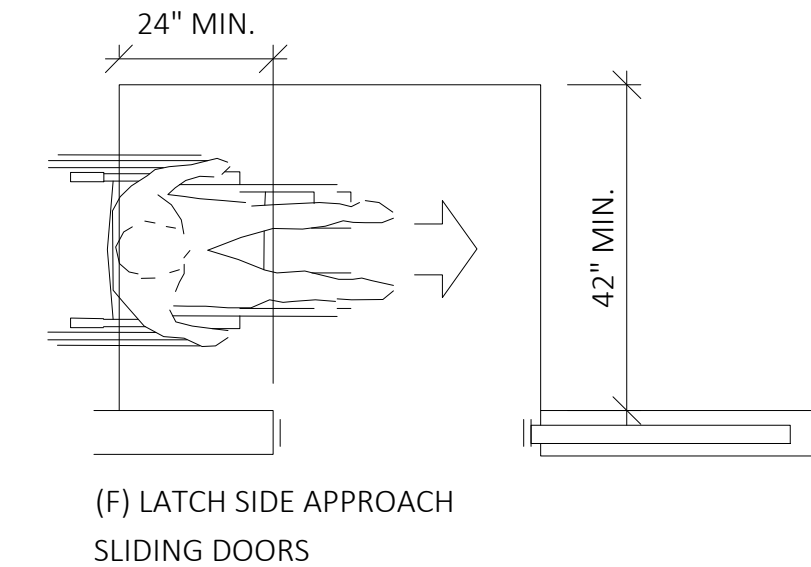
CLEAR WIDTH FOR TWO WHEELCHAIRS TO PASS PARALLEL THROUGH CORRIDOR



MINIMUM CLEAR WIDTH FOR SINGLE WHEELCHAIR



(D) FRONT APPROACH SLIDING DOORS



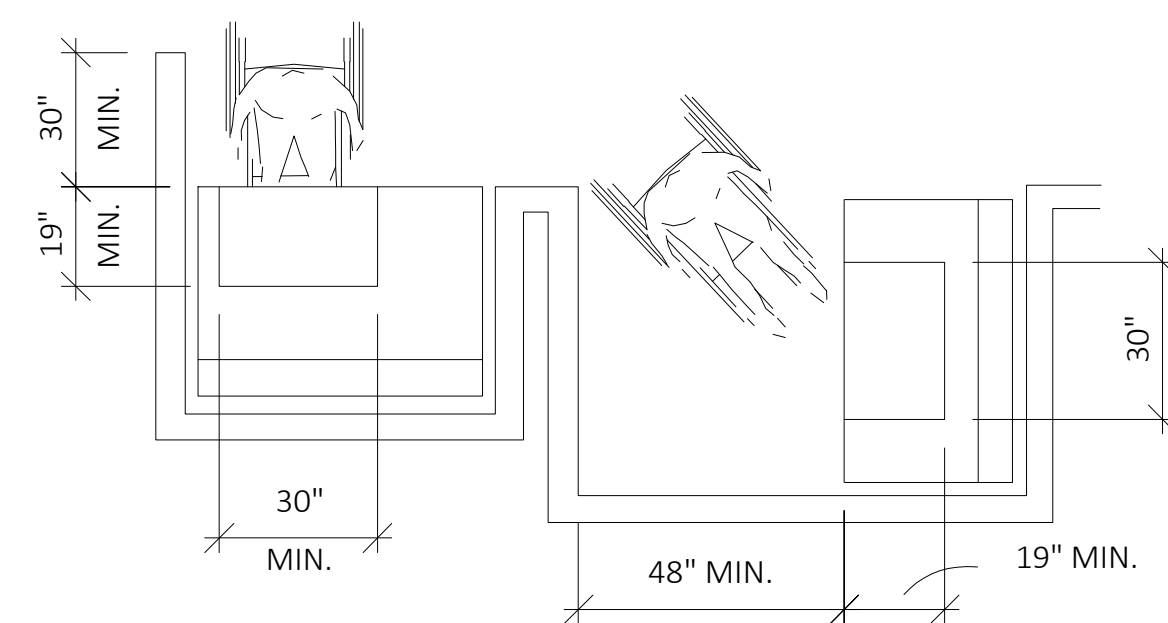
(F) LATCH SIDE APPROACH SLIDING DOORS

ACCESSIBLE CORRIDORS

N.T.S. 4

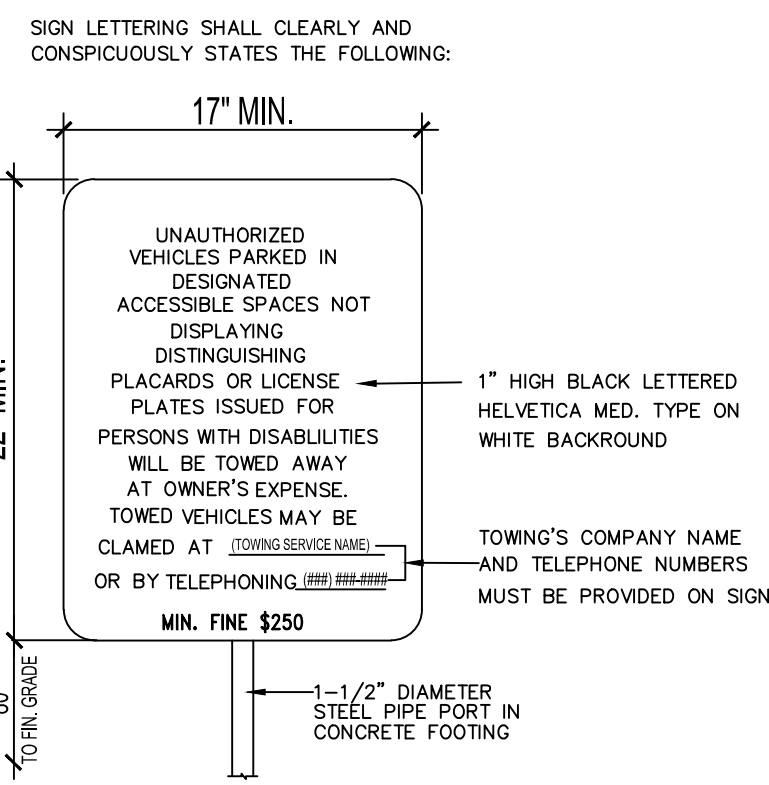
ACCESSIBLE DOOR CLEARANCES-SIDE APPROACH

SCALE: N.T.S. 3



MINIMUM CLEARANCES FOR SEATING AND TABLES

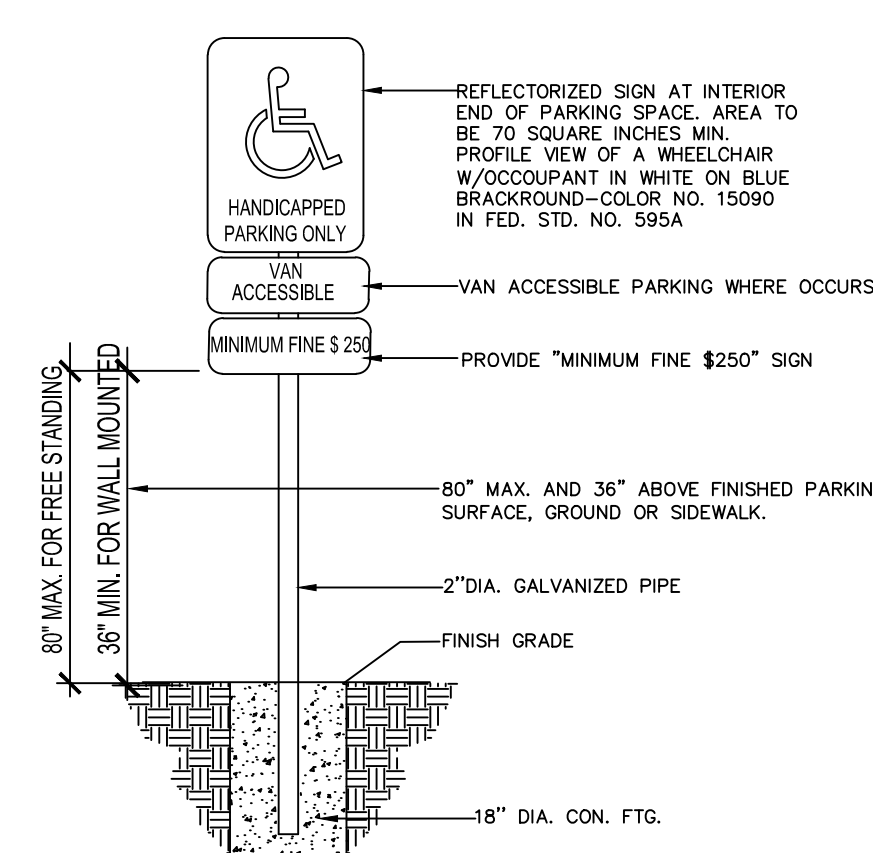
SCALE: N.T.S. 5



NOTE:
SIGN SHALL COMPLY W/CALIF. ADMIN. CODE TITLE 24, PART 2 SECTION 7102
CONTRACTOR SHALL CONTACT GOVERNING AGENCY TO OBTAIN REQUIRED INFORMATION AND SHALL COMPLETE SIGN TEXT.
MIN. 17"x22" SIGN AT EACH ENTRANCE TO OFF STREET PARKING FACILITY W/MIN 1" HIGH TEXT. SIGNS SHALL BE PERMANENTLY AFFIXED REFLECTORIZED SIGN OF PORCELAIN ON STEEL WITH BEADED TEXT OR EQUAL MOUNTED AT A HEIGHT OF 80" ABOVE FINISHED GRADE, TO BOTTOM OF SIGN.

A.D.A ENTRY SIGN

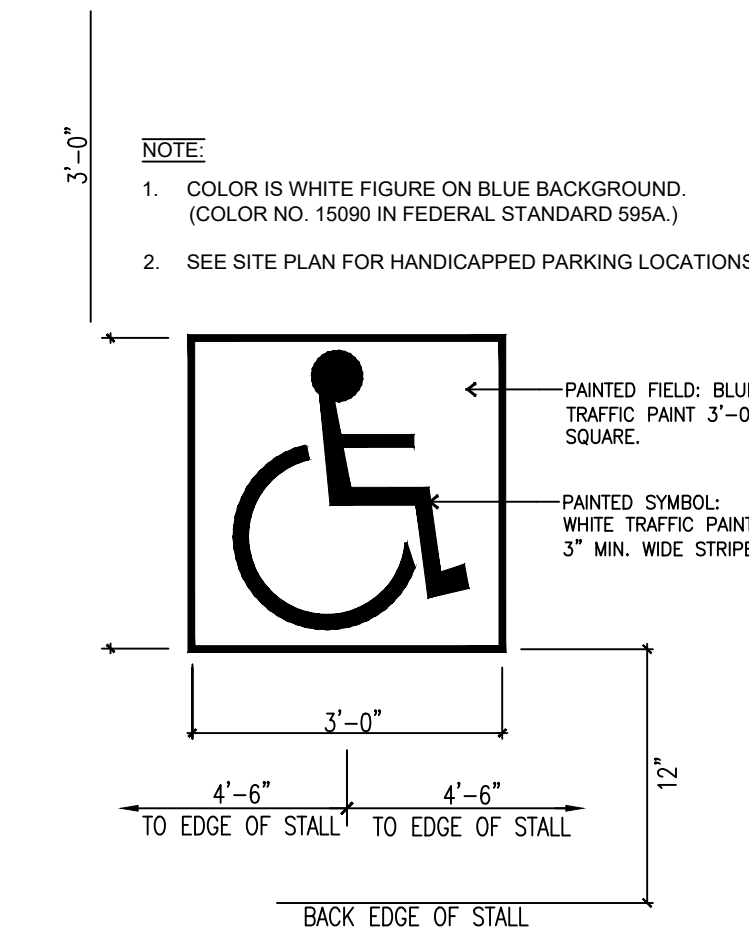
8



NOTE:
SEE SITE PLAN FOR A.D.A. PARKING LOCATIONS.
SIGNAGE SHALL CONFORM TO SEC. 11B-502.6 AND 11B-703.7.2.1

A.D.A PARKING SIGN

7



NOTE:
1. COLOR IS WHITE FIGURE ON BLUE BACKGROUND. (COLOR NO. 15090 IN FEDERAL STANDARD 595A.)
2. SEE SITE PLAN FOR HANDICAPPED PARKING LOCATIONS.

JOB NUMBER:
CB20020

DRAWN BY:
GC/JC/OP

SCALE:
1/4" = 1'-0"

REVISIONS:
01/12/21

SHEET TITLE:
ADA DETAILS

SHEET NO.:

MECHANICAL ABBREV.	
ABBREV.	DESCRIPTION
AMB	AMBIENT
BHP	BRAKE HORSE POWER
BTUH	BRITISH THERMAL UNIT PER HOUR
CD	CEILING DIFFUSER
CFM	CUBIC FEET PER MINUTE
COP	COEFFICIENT OF PERFORMANCE
DB	DRY-BULB
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EXHAUST AIR
EER	ENERGY EFFICIENT RATIO
EF	EXHAUST FAN
EG	EXHAUST GRILLE/REGISTER
ENT	ENTERING
ESP	EXTERNAL STATIC PRESSURE
F	DEGREE FAHRENHEIT
FLA	FULL LOAD AMP
HP	HORSEPOWER
HZ	HERTZ
IN. W.C.	INCH WATER COLUMN
LBS	POUNDS
LVG.	LEAVING
MAX.	MAXIMUM
MCA	MINIMUM CIRCUIT AMP
MCC	MOTOR CONTROL CENTER
MIN.	MINIMUM
MOCP	MAX. OVER CURRENT PROTECTION
OA	OUTSIDE AIR
RA	RETURN AIR
RG	RETURN GRILLE/REGISTER
RLA	RUNNING LOAD AMP
RPM	REVOLUTION PER MINUTE
SA	SUPPLY AIR
SG	SUPPLY GRILLE
S.P.	STATIC PRESSURE
T/B	TO BELOW
TEF	TOILET EXHAUST FAN
TG	TRANSFER GRILLE
TSP	TOTAL STATIC PRESSURE
TYP	TYPICAL
UTR	UP THROUGH ROOF
WB	WET-BULB
WMS	WIRE MESH SCREEN
W/	WITH

SYMBOL		ABBREV.	DESCRIPTION
DOUBLE	SINGLE		
		SA	COLD SUPPLY AIR DUCT
		EA	EXHAUST AIR DUCT
		OA	OUTSIDE AIR DUCT
		RA	RETURN AIR DUCT
			ROUND DUCT 22 INCHES IN DIAMETER CLEAR INTERNAL DIMENSION
			RECTANGULAR DUCT 24 INCHES WIDE 10 INCHES DEEP. CLEAR INTERNAL DIMENSION
			DUCT WITH INTERNAL LINING
			TRANSITION - RECTANGULAR TO RECTANGULAR OR ROUND TO ROUND
			ELBOW WITH TURNING VANE
			RADIUS ELBOW WITH TURNING VANES
			THROAT SIZE IN INCHES
			DUCT SILENCER
			RECTANGULAR DUCT BRANCH
			RISE IN DIRECTION OF AIRFLOW
			DROP IN DIRECTION OF AIRFLOW
		SFD	COMBINATION SMOKE & FIRE DAMPER WITH ACCESS DOOR
		FD	FIRE DAMPER
		MD	MOTORIZED DAMPER
			MANUAL VOLUME DAMPER
		BDD	BACKDRAFT DAMPER
			FLEXIBLE DUCT CONNECTOR
			CAPPED DUCTWORK
			CONICAL TAP W/ MANUAL VOLUME DAMPER
			CONICAL TAP
			FLEXIBLE DUCT
			4-WAY CEILING SUPPLY AIR DIFFUSER
			3-WAY CEILING SUPPLY AIR DIFFUSER
			CEILING RETURN AIR REGISTER/GRILLE
			CEILING EXHAUST AIR REGISTER/GRILLE
			SIDE WALL SUPPLY AIR REGISTER
			SIDE WALL RETURN AIR REGISTER
			SIDE WALL EXHAUST AIR REGISTER
			SUPPLY AIR DUCT - SECTION
			RETURN AIR DUCT - SECTION
			EXHAUST AIR DUCT - SECTION
			OUTSIDE AIR DUCT - SECTION
			ROUND DUCT OR RISER - SECTION
			SPACE TEMPERATURE SENSOR
			UNDERCUT DOOR (UNDER ARCH SECTION)
			DOOR LOUVER (UNDER ARCH SECTION)
			AIR FLOW DIRECTION
			NAME OF EQUIPMENT
			NUMBER OF EQUIPMENT

GENERAL NOTES:

- FOLLOW AS CLOSE AS POSSIBLE THE LAYOUT INDICATED ON THE DRAWINGS. HOWEVER, IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN ITEMS INDICATED ON DRAWING OR WITH CODE REQUIREMENTS, THE NOTE OR CODE WHICH PRESCRIBES AND ESTABLISHES THE MORE COMPLETE JOB OR THE HIGHEST STANDARD SHALL PREVAIL. IF IT IS NOT FEASIBLE DUE TO THE JOB CONDITION, CONTRACTOR SHALL OBTAIN THE OWNER REPRESENTATIVE'S APPROVAL FOR A REVISED LAYOUT BEFORE ITS INSTALLATION.
- CUTTING, BORING, SAW CUTTING OR DRILLING THROUGH THE STRUCTURAL ELEMENTS TO BE DONE ONLY WHEN SO DETAILED ON THE DRAWINGS OR APPROVED BY THE ARCHITECT, STRUCTURAL ENGINEER AND DSA FIELD ENGINEER PRIOR TO THE INSTALLATION, THE CONTRACTOR SHALL COORDINATE ALL OF THE REQUIRED CUTTING, PATCHING, FRAMING, CORING AND FURRING FOR CEILING DIFFUSERS, REGISTERS AND EQUIPMENT WITH OTHER TRADES.
- WHERE SPECIFIC INSTALLATIONS AND OPERATING INSTRUCTIONS FOR EQUIPMENT SPECIFIED ARE NOT PROVIDED ON DRAWINGS OR SPECIFICATIONS, INSTALLATION SHALL BE PROVIDED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS OR RECOMMENDATIONS.
- THE CONTRACTOR SHALL PROVIDE MANUAL AIR VOLUME DAMPERS AT EACH SUPPLY AND RETURN AIR BRANCH DUCT TO BALANCE THE SYSTEM AS REQUIRED.
- ALL CEILING DIFFUSER SIZES SHOWN ARE NECK SIZE. DIFFUSERS, REGISTERS AND GRILLES IN CEILING SHALL BE LOCATED AS INDICATED ON THE ARCHITECTURAL REFLECTED CEILING PLANS.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BEAR THE UL LABEL AND SHALL BE INSTALLED IN THE MANNER FOR WHICH THEY ARE DESIGNED AND APPROVED, HAVE MAINTENANCE LABELS ATTACHED AND MAINTENANCE MANUALS FURNISHED TO THE OWNER'S REPRESENTATIVE.
- ALL EQUIPMENT SHALL MEET THE LISTING REQUIREMENTS OF THE STATE OF CALIFORNIA ENERGY COMMISSION STANDARDS.
- ALL WORK SHALL COMPLY WITH CURRENT STATE OF CALIFORNIA MECHANICAL CODE AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES HAVING JURISDICTION. COMPLY WITH CALIFORNIA STATE SAFETY REGULATIONS INCLUDING EARTHQUAKE PROVISIONS.
ALL RECTANGULAR DUCTWORK ELBOWS SHALL HAVE TURNING VANES OF DOUBLE THICKNESS AND ALL BRANCH TAKEOFFS EXTRACTORS WITH VANES OF DOUBLE THICKNESS.
- THE CONTRACTOR SHALL STUDY ALL THE DRAWINGS AS SOON AS HE RECEIVED IT AND SHALL PROMPTLY NOTIFY THE OWNER OF ANY DISCREPANCIES OR AMBIGUITIES. ALL INDICATED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS, SIZES, AND REQUIRED CLEARANCES, AND SHALL ASSUME FULL RESPONSIBILITY FOR COMPLETE COORDINATION REQUIRED WITH OTHER PARTS OF THE WORK AND WITH THE WORK OF OTHER TRADES.
- DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF CALIFORNIA MECHANICAL CODE.
- SECURE ALL CONTRACT DOCUMENTS, INCLUDING INSPECTIONS, PERMITS AND PLAN CHECK, AS REQUIRED.
- FACTORY-MADE FLEXIBLE AIR DUCTS AND CONNECTORS SHALL BE NOT MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS AND FITTINGS. CMC 603.4.1

- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA RESIDENTIAL BUILDING CODE (CRC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA FIRE CODE (CFC)
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

MECHANICAL EQUIPMENT SCHEDULE	
ITEM	
	<p>NEW PACKAGED HEATPUMP CARRIER, 50VT-060-5, (5TONS) COOLING (BTUH): 57,000 BTUH, 14 SEER, 12 EER HEATING (BTUH): 57,000 BTUH, 8 HSPF AIR FLOW (CFM): 2000CFM ELECTRIC: 208/230-3-60, 25.1AMP PROVIDE MERV8 FILTER ON OUTSIDE AIR INTAKE AND RETURN AIR WEIGHT: 448LB REFRIGERANT: R410A</p>
	<p>CEILING EXHAUST FAN ACCUREX, XCR-B70 UNIT SHALL EXHAUST 68 CFM @ 0.125" ESP. PROVIDE UNIT WITH BACKDRAFT DAMPER & ROOF JACK HVI SONES : 1.4 ELECTRICAL: 120V-1Ø, 45 WATTS UNIT SHALL BE CONTROLLED BY LIGHT SWITCH UNIT APPROX. WEIGHT = 9 LBS.</p>
	<p>CEILING EXHAUST FAN ACCUREX, XCR-B200 UNIT SHALL EXHAUST 194 CFM @ 0.125" ESP. PROVIDE UNIT WITH BACKDRAFT DAMPER & ROOF JACK HVI SONES : 4.0 ELECTRICAL: 120V-1Ø, 173 WATTS UNIT SHALL BE CONTROLLED BY LIGHT SWITCH UNIT APPROX. WEIGHT = 10 LBS.</p>

REVISIONS

JS ENGINEERING, INC.
 RESIDENTIAL, COMMERCIAL & INDUSTRIAL
 HVAC, PLUMBING, ELECTRICAL
 E-mail: jsezhong@jscglobal.net
 410 S. SAN GABRIEL BLVD. #8
 SAN GABRIEL, CA 91776

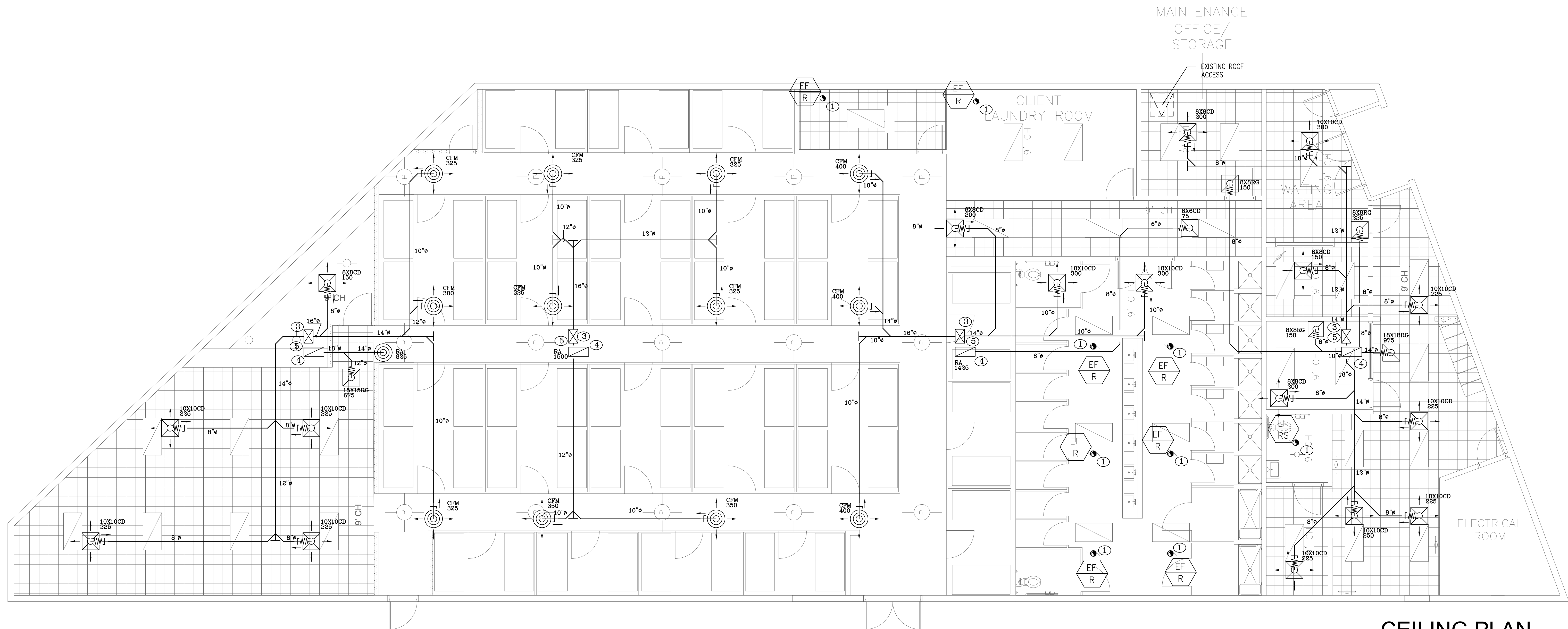
Project: **CONVERT WAREHOUSE TO EMERGENCY HOMELESS SHELTER**

Address: **2521 LONG BEACH AVE. LOS ANGELES, CA. 90058**

STAMP

Date: 06/24/2021
 JOB# 210689

M1



CEILING PLAN
SCALE: 3/16"=1'-0"

- NOTE:
- ① 5"ø EAD UTR
 - ② THERMOSTAT, 4' ABOVE FLOOR
 - ③ 17"X18" SAD DN FROM ROOF
 - ④ 17"X18" RAD UP TO ROOF
 - ⑤ SMOKE DETECTOR

REVISIONS

JS ENGINEERING, INC.
RESIDENTIAL, COMMERCIAL & INDUSTRIAL
HVAC, PLUMBING, ELECTRICAL
E-mail: jzezhong@jscglobal.net
410 S. SAN GABRIEL BLVD. #B
SAN GABRIEL, CA 91776

Project: **CONVERT WAREHOUSE TO
EMERGENCY HOMELESS SHELTER**

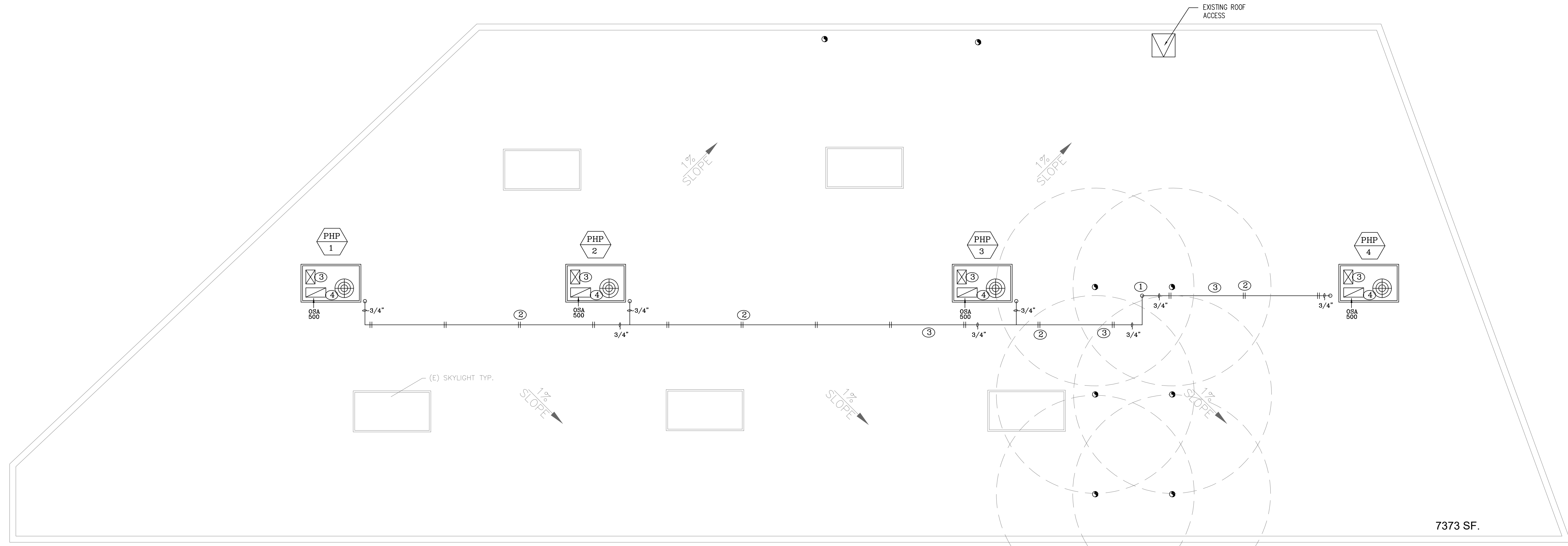
Address: **2521 LONG BEACH AVE. LOS ANGELES, CA. 90058**

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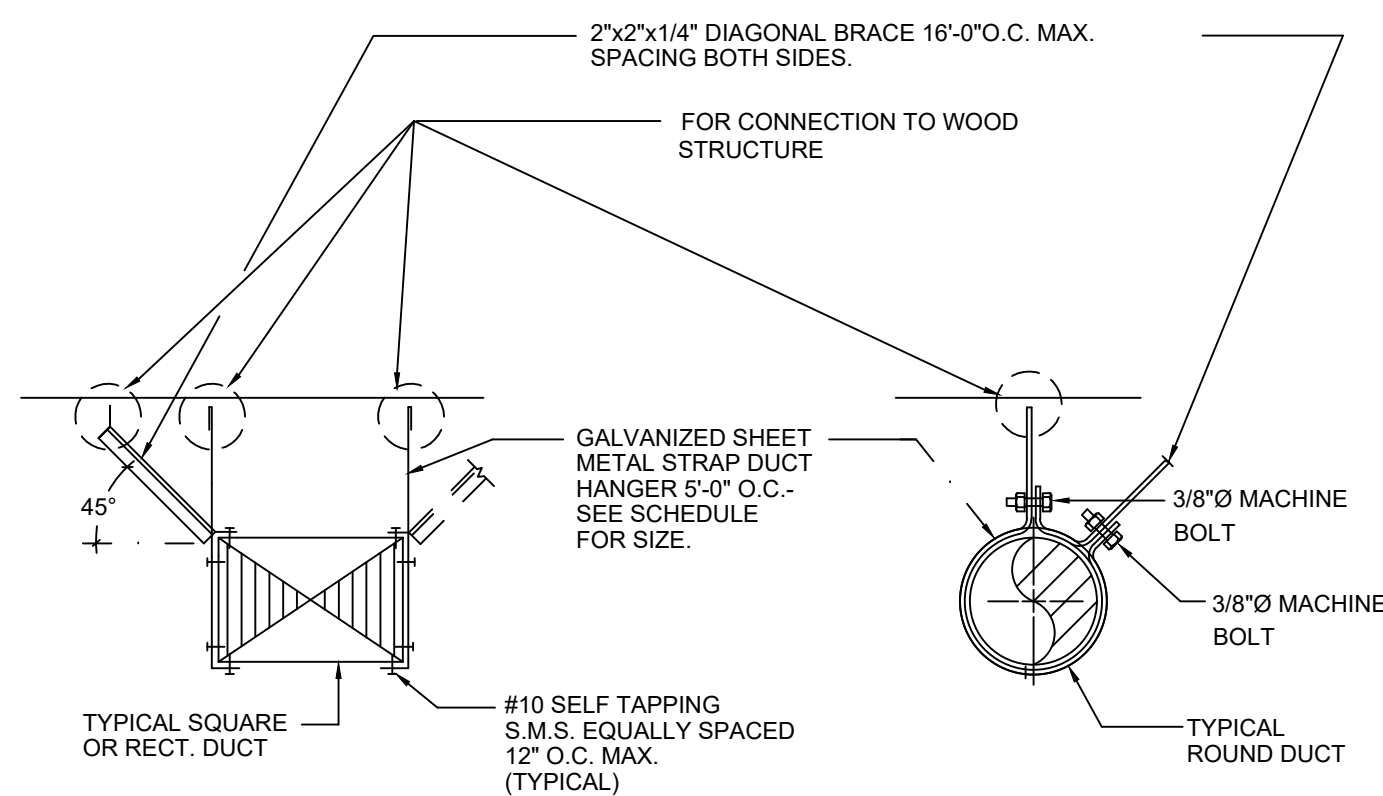
M2

NOTE:
 ① DN & CONNECTED TO THE TAIL PIECE OF LAVATORIES
 ② ROOF PIPE SURPORT
 ③ 3/4" PIPE W/2% SLOPE MIN.



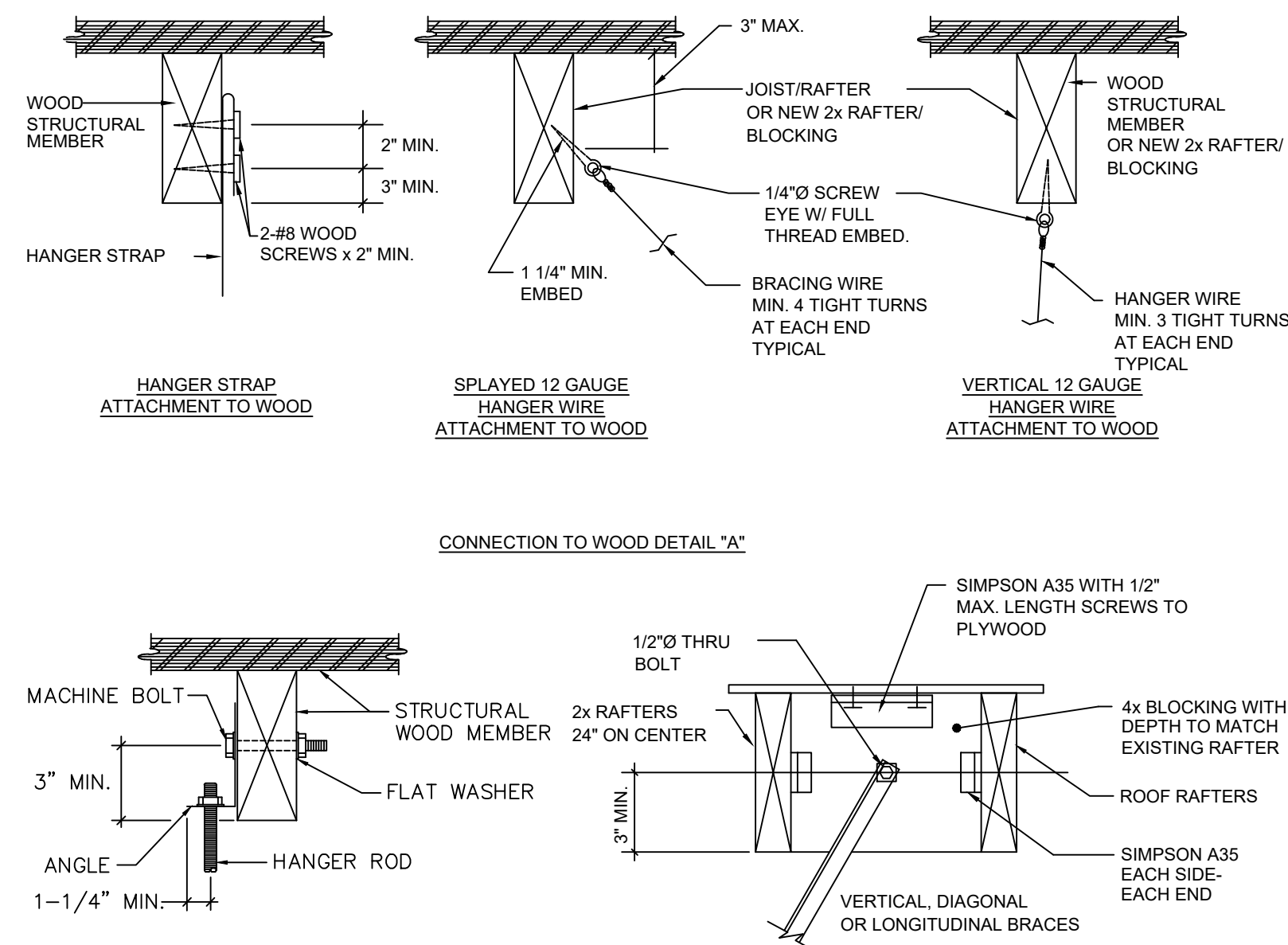
ROOF PLAN
 SCALE: 3/16"=1'-0"

CONDENSATE WASTE SIZING			
EQUIPMENT CAPACITY IN PIPE DIAMETER		MINIMUM CONDENSATE	
TONS OF REFRIGERATION	kW	INCHES	MM
UP TO 20	(UP TO 70.34)	3/4	(20)
21 - 40	(73.85 TO 140.67)	1	(25)
41 - 90	(144.19 TO 316.6)	1-1/4	(32)
91 - 125	(320.03 TO 439.6)	1-1/2	(40)
126 - 250	(433.12 TO 879.2)	2	(50)



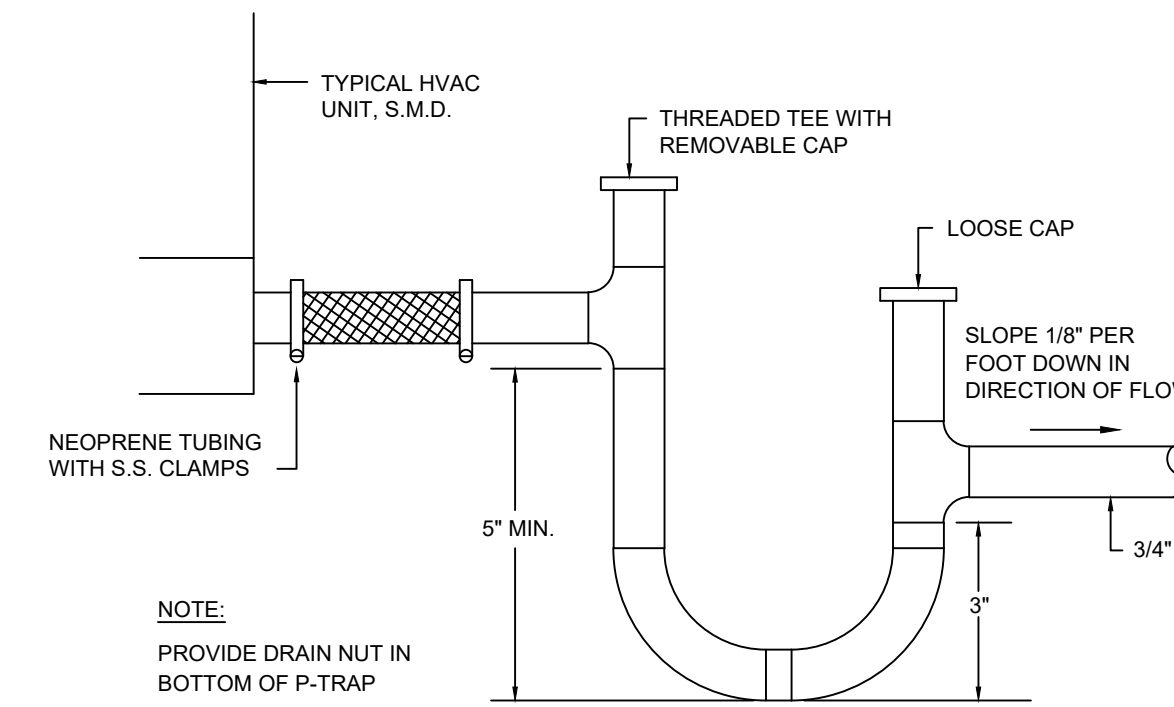
- NOTE:
1. NO BRACING REQUIRED IF DUCT IS SUSPENDED 12 INCHES OR LESS IN LENGTH.
 2. FOR TRANSVERSE AND LONGITUDINAL BRACING FOLLOW "SMACNA".
 3. BRACING NOT REQUIRED FOR RECTANGULAR DUCTS WITH CROSS SECTIONAL AREAS OF LESS THAN 6 SQUARE FEET AND ROUND DUCTS LESS THAN 28 INCHES IN DIAMETER.
 4. MAXIMUM 8 FEET ON CENTER SPACING PER CMC CHAPTER 6.

DUCT SUPPORT DETAIL



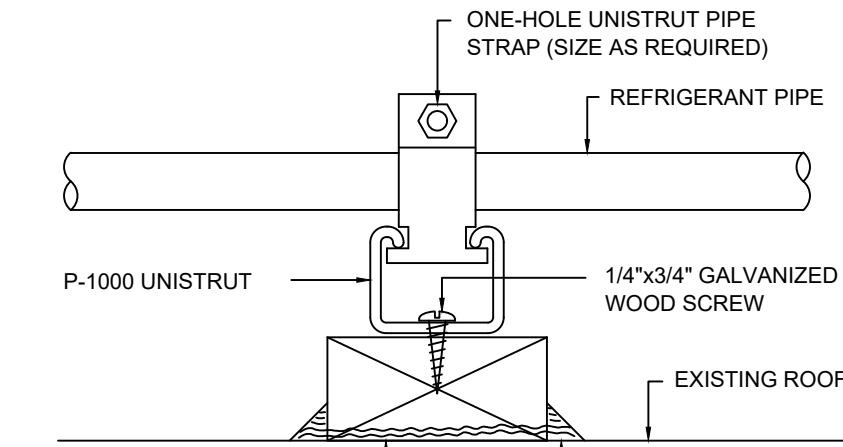
NOTE: DETAIL APPLICABLE FOR DUCTWORK ONLY.

CONNECTION TO WOOD STRUCTURE DETAIL



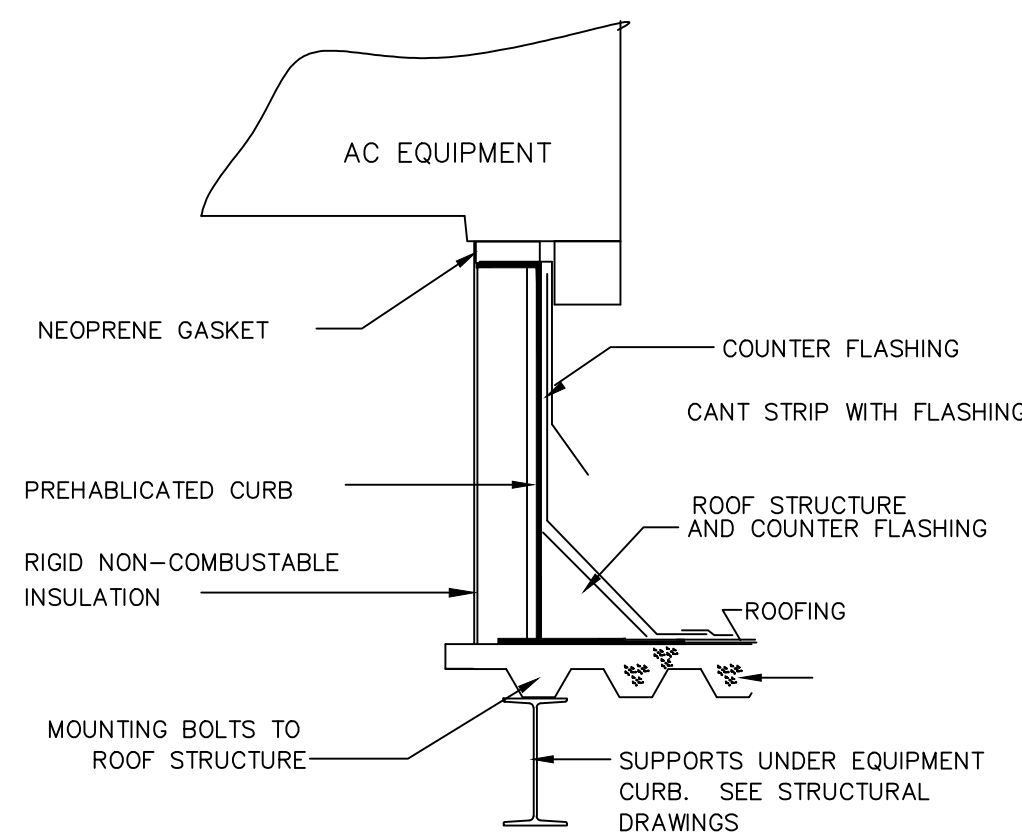
NOTE:
PROVIDE DRAIN NUT IN BOTTOM OF P-TRAP

CONDENSATE TRAP DETAIL

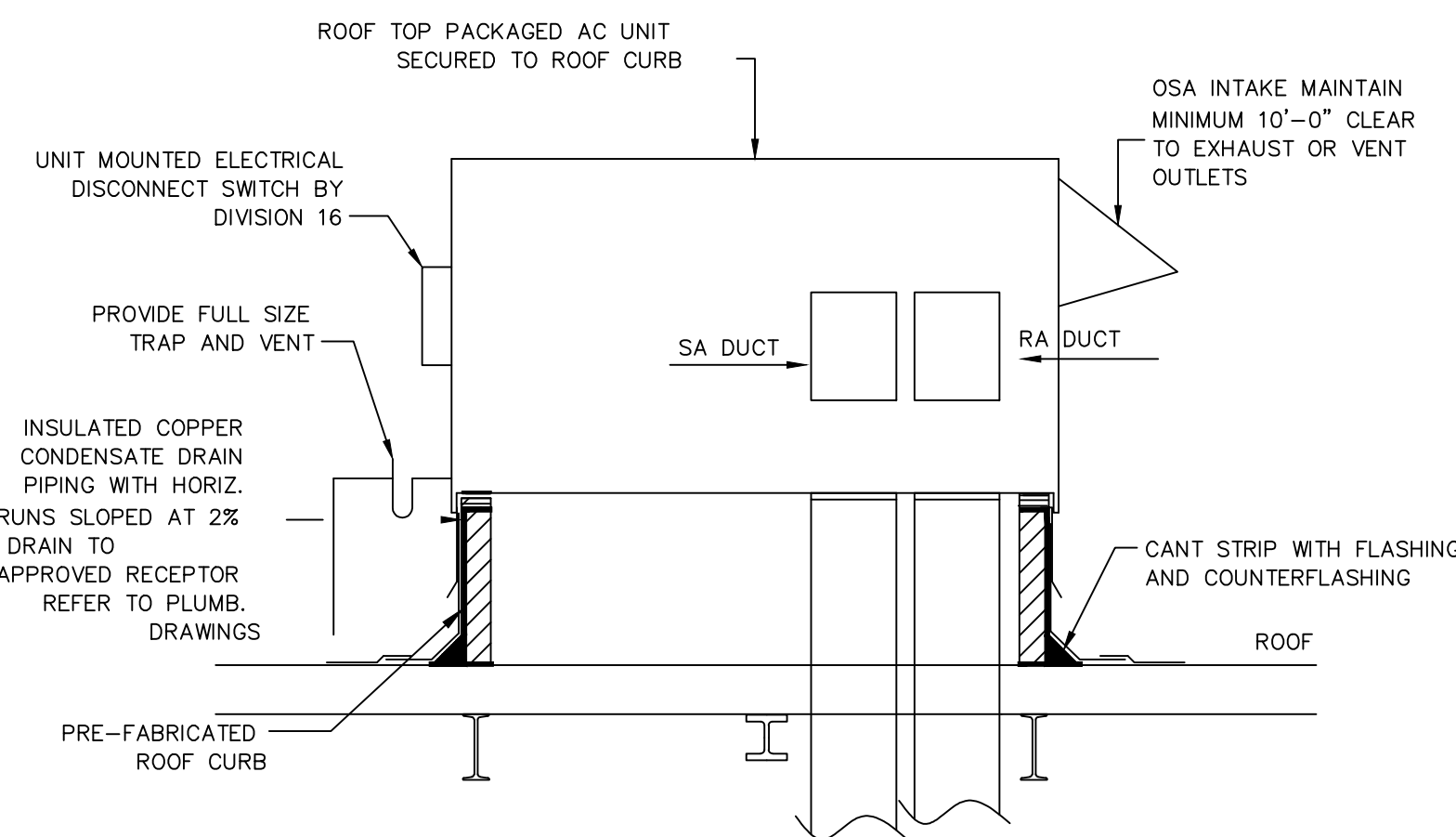


2" x 4" REDWOOD BLOCK PRESSURE TREATED WITH APPROVED MATERIAL FOR OUTDOOR INSTALLATION- SECURE REDWOOD TO ROOF WITH (2)3/8"x3" LAG BOLTS

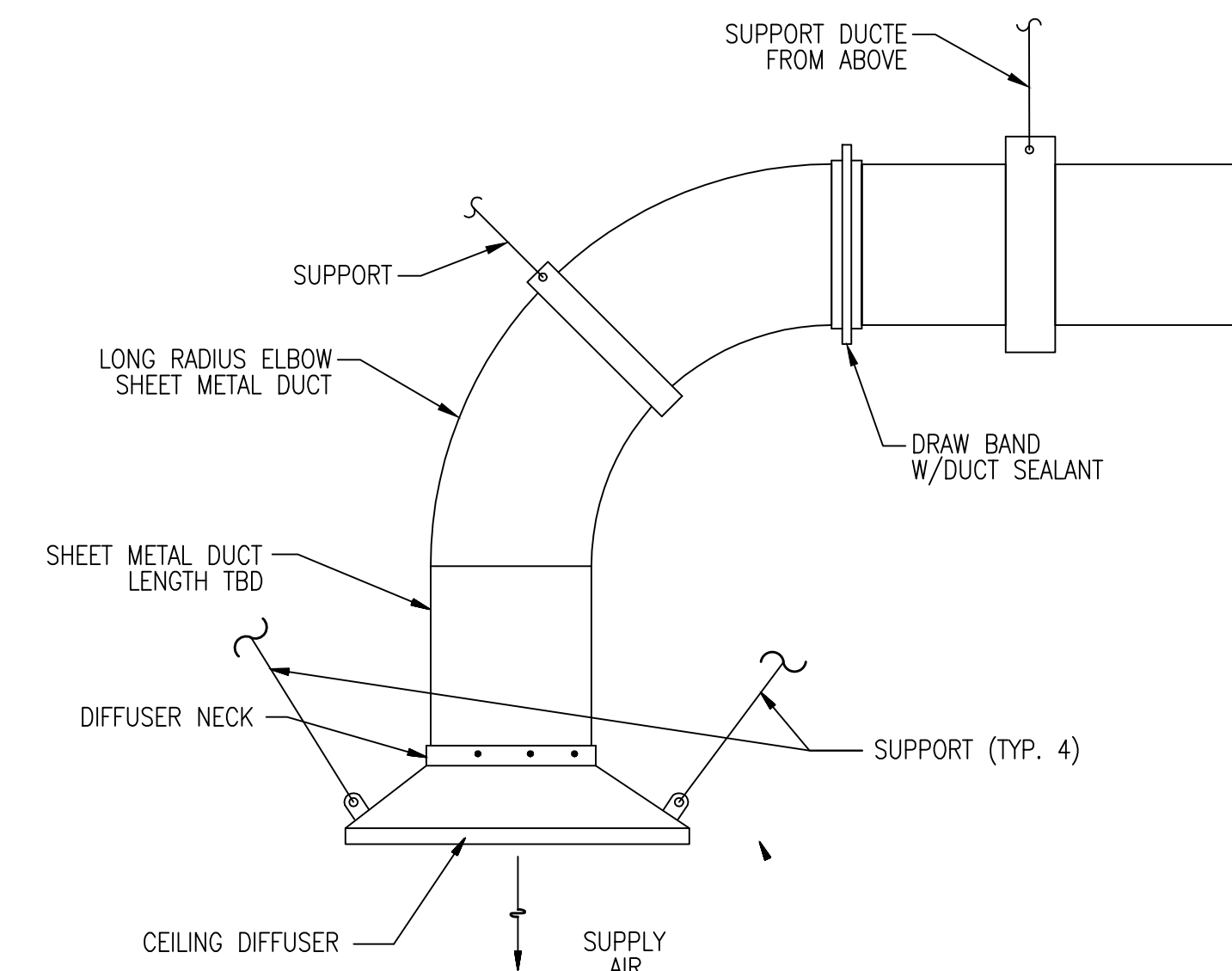
PIPE SUPPORT ON ROOF MOUNTING DETAIL



CURB DETAIL

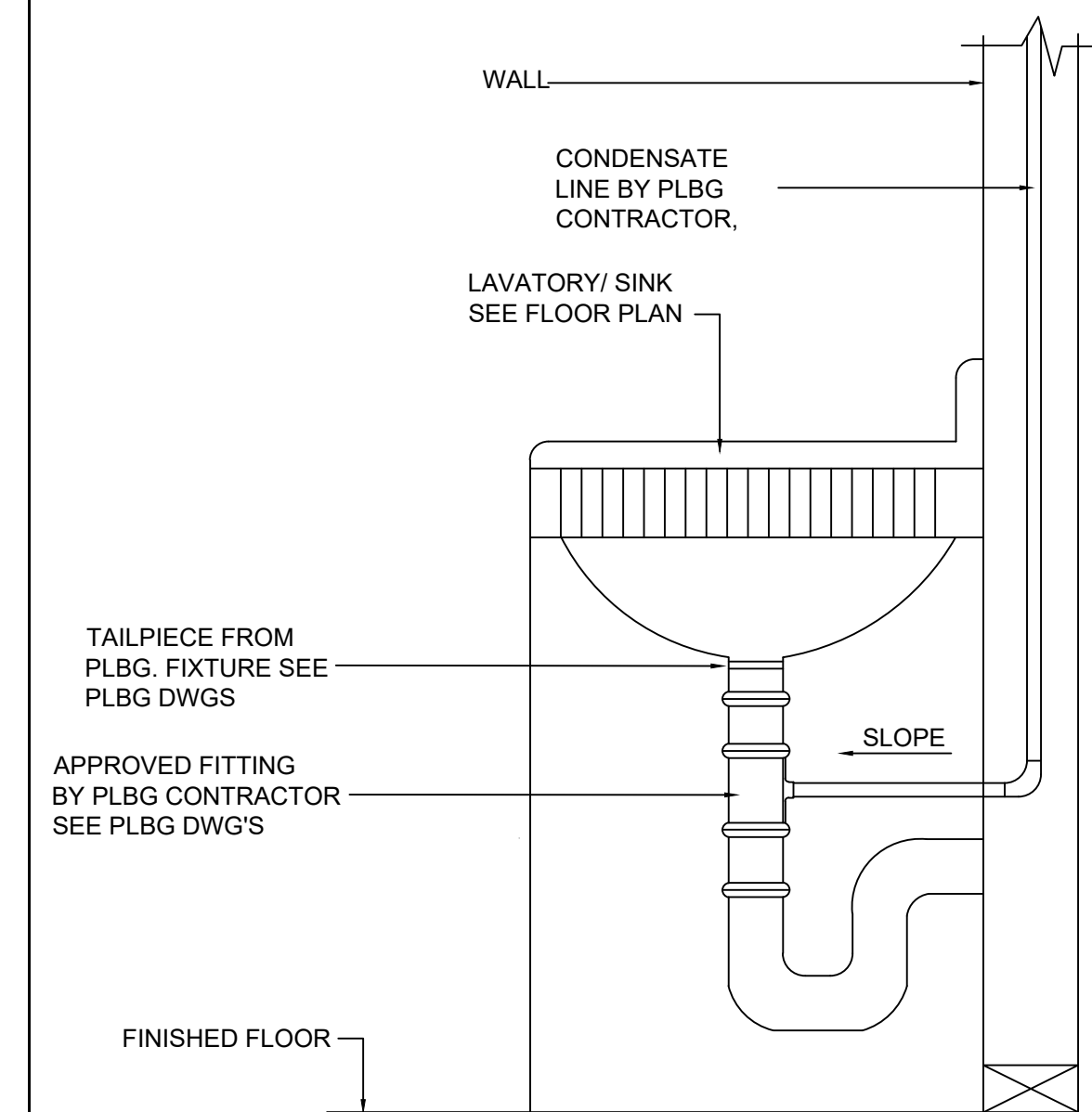


ROOF PACKAGE UNIT MOUNTING



NOTE:
1. FLEXIBLE DUCT MAXIMUM LENGTH SHALL BE 7 FEET, MINIMUM LENGTH SHALL BE 5'0"
(OSA ONLY) 2. ALL BRACING TO BE IN ACCORDANCE WITH SMACNA SEISMIC HAZARD LEVEL AA.

TYPICAL DIFFUSER CONNECTION

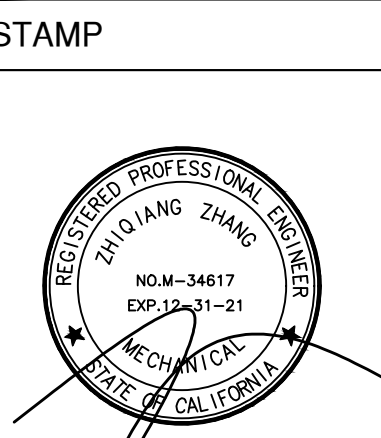


CONDENSATE DRAIN TERMINATION

REVISIONS

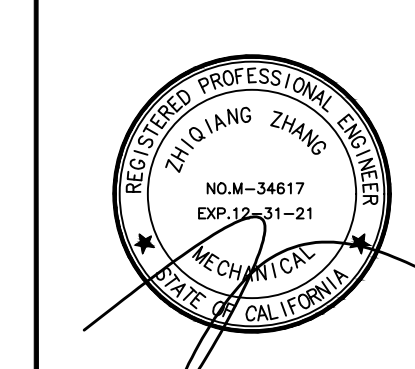
JS ENGINEERING, INC.
RESIDENTIAL, COMMERCIAL & INDUSTRIAL
HVAC, PLUMBING, ELECTRICAL
E-mail: jzezhong@sbccglobal.net
410 S. SAN GABRIEL BLVD. #8
SAN GABRIEL, CA 91776

Project: **CONVERT WAREHOUSE TO EMERGENCY HOMELESS SHELTER**
Address: **2521 LONG BEACH AVE. LOS ANGELES, CA. 90058**



Date: 06/24/2021
JOB#: 210689

M4



BUILDING ENERGY ANALYSIS REPORT

PROJECT:
Tenant Improvement
2521 LONG BEACH AVE
LOS ANGELES, CA 90058

Project Designer:
JS Engineering, INC
410 S. San Gabriel Blvd. #8
San Gabriel, CA 91776
626-497-0558

Report Prepared by:
JOSEPH ZHANG
JS ENGINEERING, INC.
410 S. SAN GABRIEL BLVD, #8
SAN GABRIEL, CA 91776
626-497-0558

Job Number:
210689

Date:
7/1/2021

The EnergyPro computer program has been used to perform the calculations summarized in this compliance report. This program has approval and is authorized by the California Energy Commission for use with both the Residential and Nonresidential 2019 Building Energy Efficiency Standards. This program developed by EnergySoft Software - www.energysoft.com.

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HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

Project Name: Tenant Improvement Date: 7/1/2021
System Name: PHPS-1, 2, 3, 4 Floor Area: 7,160

Number of Systems	SYSTEM LOAD			COIL HTG. PEAK	
	CFM	Sensible	Latent	CFM	Sensible
Heating System					
Output per System	60,000				
Total Output (Btuh)	240,000				
Output (Btuh/sqft)	33.5				
Cooling System					
Output per System	60,000				
Total Output (Btuh)	240,000				
Total Output (Tons)	20.0				
Total Output (Btuh/sqft)	33.5				
Total Output (Btuh/Ton)	358.0				
				TOTAL SYSTEM LOAD	
				123,157	20,715
				46,523	

HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak)

COOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak)

Project Name:	Nonresidential Building	NRCC-PRF-01-E	Page 1 of 9
Project Address:	2521 LONG BEACH AVE LOS ANGELES 90058	Calculation Date/Time:	12:11, Thu, Jul 01, 2021
Input File Name:	commercial_mechanical_only.cibd19x		

A. GENERAL INFORMATION

1 Project Location (city)	LOS ANGELES	8 Standards Version	Compliance2019
2 CA Zip Code	90058	9 Compliance Software (version)	EnergyPro 8.1
3 Climate Zone	9	10 Weather File	LOS-ANGELES-DWNTOWN_722874_CZ2010.epw
4 Total Conditioned Floor Area in Scope	7,160 ft ²	11 Building Orientation (deg)	(N) 0 deg
5 Total Unconditioned Floor Area	0 ft ²	12 Permitted Scope of Work	Existing/Alteration
6 Total # of Stories (Habitable Above Grade)	1	13 Building Type(s)	Nonresidential
7 Total # of Dwelling Units	0	14 Gas Type	NaturalGas

B. PROJECT SUMMARY

Table Instructions: Table B shows which building components are included in the performance calculation. If indicated as not included, the project must show compliance prescriptively if within permit application.

Building Components Complying via Performance		Building Components Complying Prescriptively	
Envelope (see Table G)	<input checked="" type="checkbox"/> Performance <input type="checkbox"/> Not Included	Covered Process: Commercial Kitchens	<input type="checkbox"/> Performance <input checked="" type="checkbox"/> Not Included
Mechanical (see Table H)	<input checked="" type="checkbox"/> Performance <input type="checkbox"/> Not Included	Covered Process: Computer Rooms	<input type="checkbox"/> Performance <input checked="" type="checkbox"/> Not Included
Domestic Hot Water (see Table I)	<input checked="" type="checkbox"/> Performance <input type="checkbox"/> Not Included	Covered Process: Laboratory Exhaust	<input type="checkbox"/> Performance <input checked="" type="checkbox"/> Not Included
Lighting (Indoor Conditioned, see Table K)	<input checked="" type="checkbox"/> Performance <input type="checkbox"/> Not Included		
Solar Thermal Water Heating (see Table L)	<input type="checkbox"/> Performance <input checked="" type="checkbox"/> Not Included		

Project Name:	Nonresidential Building	NRCC-PRF-01-E	Page 2 of 9
Project Address:	2521 LONG BEACH AVE LOS ANGELES 90058	Calculation Date/Time:	12:11, Thu, Jul 01, 2021
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C1. COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual TDV Energy Use, kWh/ft²-yr)

Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) ¹
Space Heating	0.93	1.19	-0.26
Space Cooling	91.14	50.65	40.49
Indoor Fans	114.86	116.83	-1.97
Heat Rejection	--	--	--
Pumps & Misc.	--	--	--
Domestic Hot Water	15.14	15.14	--
Indoor Lighting	43.38	43.38	--
ENERGY STANDARDS COMPLIANCE TOTAL	265.45	227.19	38.26 (14.4%)

¹ Notes: The number in parenthesis following the Compliance Margin in column 4, represents the Percent Better than Standard.

C2. RESULTS FOR 'ABOVE CODE' QUALIFICATIONS¹

This project is pursuing CalGreen Tier 1 This project is pursuing CalGreen Tier 2

Miscellaneous Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) ¹
Receptacle	127.41	127.41	--
Process	--	--	--
Other Ltg	--	--	--
Process Motors	--	--	--
COMPLIANCE TOTAL PLUS MISCELLANEOUS COMPONENTS	392.86	354.60	38.3 (9.7%)

¹ Notes: This table is used to document compliance with programs OTHER THAN Title 24 Part 6, if applicable.

Project Name:	Nonresidential Building	NRCC-PRF-01-E	Page 3 of 9
Project Address:	2521 LONG BEACH AVE LOS ANGELES 90058	Calculation Date/Time:	12:11, Thu, Jul 01, 2021
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C3. ENERGY USE SUMMARY

Energy Component	Standard Design Site (MWh)	Proposed Design Site (MWh)	Margin (MWh)	Standard Design Site (kBtu)	Proposed Design Site (kBtu)	Margin (kBtu)
Space Heating	--	0.3	--	3.2	--	--
Space Cooling	18.1	7.6	10.5	--	--	--
Indoor Fans	28.0	28.5	-0.5	--	--	--
Heat Rejection	--	--	--	--	--	--
Pumps & Misc.	--	--	--	--	--	--
Domestic Hot Water	3.8	3.8	0.0	--	--	--
Indoor Lighting	10.5	10.5	0.0	--	--	--
Compliance Total	60.4	50.7	9.7	3.2	0.0	--
Receptacle	30.7	30.7	0.0	--	--	--
Process	--	--	--	--	--	--
Other Ltg	--	--	--	--	--	--
Process Motors	--	--	--	--	--	--
TOTAL	91.1	81.4	9.7	3.2	0.0	--

D. EXCEPTIONAL CONDITIONS

The building does not include service water heating. Verify that service water heating is not required and is not included in the design.

E. HERS VERIFICATION

This Section Does Not Apply

Project Name:	Nonresidential Building	NRCC-PRF-01-E	Page 4 of 9
Project Address:	2521 LONG BEACH AVE LOS ANGELES 90058	Calculation Date/Time:	12:11, Thu, Jul 01, 2021
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H1. DRY SYSTEM EQUIPMENT (furnaces, air handling units, heat pumps, VRF, economizers etc.)											
1	2	3	4	5	6	7	8	9	10	11	12
Equipment Name	Equipment Type	Qty	Heating			Cooling			Economizer Type (if present)	Status	
			Total Heating Output (kBtu/h)	Supp Heat Output (kBtu/h)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit			Efficiency
PHP-1234	SZHP (Packaged3Phase)	4	62	20	HSFP	8.00	58	SEER	14.00	FixedDryBulb	N

H2. FAN SYSTEMS SUMMARY ¹											
1	2	3	4	5	6	7	8	9	10	11	12
Name or Item Tag	System Type	Design OA	Supply Fan			Return Fan			Economizer Type (if present)	Status	
			CFM	BHP	Watts	Control	CFM	BHP			Watts
PHP-1234	SZHP	269	2000	1.500	1292.9	ConstantVolume	NA	NA	NA	NA	FixedDryBulb

H3. EXHAUST FAN SUMMARY
This Section Does Not Apply

H4. Wet System Equipment(boilers,chillers,cooling towers,etc.)
This Section Does Not Apply

H5. SYSTEM SPECIAL FEATURES					
1	2	3	4	5	6
System Name	Optimum Start	Window Interlocks per §140.4(n)	Evaporative Cooling	Heat Recovery	Other Controls
PHP-1234	No Optimum Start	NA	No Evaporative Cooler	No Heat Recovery	No DCV Controls, No DDC Fixed Drybulb Economizer No Supply Air Temp. Control

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L. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION	
Building Component	Form/Title
Mechanical	NRCA-MCH-01-E - Must be submitted for all buildings

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-04162021-6384 Report Generated at: 2021-07-01 12:11:15

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H6. MECHANICAL VENTILATION								
1	2	3	4	5	6	7	8	9
Zone Name	Mechanical Ventilation			# of bedrooms	Supply OA CFM	Exhaust CFM	Conditioned Area (sf)	DCV or Occupant Sensor Controls, or Both
	Ventilation Function	# hotel rooms	# of people					
1-Zone 1	Office-Office space	0	71.60	0	1074	0	7160	NA

Multifamily or Hotel/Motel Occupancy? (If "Yes", see DOMESTIC/SERVICE HOT WATER SYSTEM SUMMARY) No

Does the Project Include Zonal Systems? No

H7. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY											
1	2	3	4	5	6	7	8	9	10	11	12
System ID	Zone Name	System Type	Rated Capacity (kBtu/h)		Airflow (cfm)			Fan			
			Heating	Cooling	Design	Min.	Min. Ratio	BHP	Watts	Cycles	ECM Motor
1-Zone 1-Tm	1-Zone 1	Uncontrolled	NA	NA	8000	NA	0.00	NA	NA	NA	<input type="checkbox"/>

H8. EVAPORATIVE COOLER SUMMARY
This Section Does Not Apply

K1. INDOOR CONDITIONED LIGHTING GENERAL INFO					
1	2	3	4	5	6
Occupancy Type ¹	Conditioned Floor Area ² (ft ²)	Installed Lighting Power (Watts)	Lighting Control Credits (Watts)	Additional (Custom) Allowance	
				Area Category Footnotes (Watts)	Tailored Method (Watts)
Office Area (>250 square feet)	7,160	4,654	0	0	0

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Input File Name:	commercial_mechanical_only.cibd19x		

M. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE	
Building Component	Form/Title
Mechanical	NRCA-MCH-02-A Outdoor Air must be submitted for all newly installed HVAC units. Note: MCH02-A can be performed in conjunction with MCH-07-A Supply Fan VFD Acceptance (if applicable) since testing activities overlap
	NRCA-MCH-03-A Constant Volume Single Zone HVAC
	NRCA-MCH-05-A Air Economizer Controls
	NRCA-MCH-12-A FDD for Packaged Direct Expansion Units

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K1. INDOOR CONDITIONED LIGHTING GENERAL INFO					
1	2	3	4	5	6
Occupancy Type ¹	Conditioned Floor Area ² (ft ²)	Installed Lighting Power (Watts)	Lighting Control Credits (Watts)	Additional (Custom) Allowance	
				Area Category Footnotes (Watts)	Tailored Method (Watts)
Building Totals:	7,160	4,654	0	0	0

¹ See Table 140.6.C
² See NRCC-0101.6 for unconditioned spaces
³ Lighting information for existing spaces modeled is not included in the table

K4. INDOOR CONDITIONED LIGHTING MANDATORY LIGHTING CONTROLS									
Building Level Controls					Area Level Controls (includes all lighting controls installed in conditioned space to meet mandatory requirements per §130.1)				
Mandatory Demand Response §110.12(c)					Shut-Off Controls §130.1(c)				
1	2	3	4	5	6	7	8	9	10
Area Description	Area Category Primary Function Area	Area Controls 130.1(a)	Multi-Level Controls 130.1(b)	Shut-Off Controls 130.1(c)	Primary Daylighting 130.1(d)	Secondary Daylighting 140.5(d)			

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-04162021-6384 Report Generated at: 2021-07-01 12:11:15

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Project Address:	2521 LONG BEACH AVE LOS ANGELES 90058	Calculation Date/Time:	12:11, Thu, Jul 01, 2021
Input File Name:	commercial_mechanical_only.cibd19x		

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: JOSEPH ZHANG	Signature:
Company: JS ENGINEERING, INC.	
Address: 410 S. SAN GABRIEL BLVD, #8	Signature Date: 2021-07-01
City/State/Zip: SAN GABRIEL, CA 91776	CEA/ HERS Certification Identification (if applicable): M34617
Phone: 626-497-0558	
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California:	
1. The information provided on this Certificate of Compliance is true and correct.	
2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer)	
3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1, and Part 6 of the California Code of Regulations.	
4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.	
Responsible Envelope Designer Name: Joseph Zhiqiang Zhang	Signature: NOT IN SCOPE
Company: JS Engineering,INC	
Address: 410 S. San Gabriel Blvd. #8	Date Signed:
City/State/Zip: San Gabriel CA 91776	
Phone: 626-497-0558	Title: License #: M34617
Responsible Lighting Designer Name:	Signature:
Company:	
Address:	Date Signed:
City/State/Zip:	
Phone:	Title: License #:
Responsible Mechanical Designer Name: Joseph Zhiqiang Zhang	Signature:
Company: JS Engineering,INC	
Address: 410 S. San Gabriel Blvd. #8	Date Signed:
City/State/Zip: San Gabriel CA 91776	
Phone: 626-497-0558	Title: License #: M34617

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-04162021-6384 Report Generated at: 2021-07-01 12:11:15

REVISIONS

JS ENGINEERING, INC.
RESIDENTIAL, COMMERCIAL & INDUSTRIAL
HVAC, PLUMBING, ELECTRICAL
E-mail: joezhong@jsengobal.net
410 S. SAN GABRIEL BLVD. #8
SAN GABRIEL, CA 91776

Project: CONVERT WAREHOUSE TO EMERGENCY HOMELESS SHELTER
Address: 2521 LONG BEACH AVE. LOS ANGELES, CA. 90058

STAMP



Date: 06/24/2021
JOB# 210689

M6

GENERAL NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF THE UTILITIES BEFORE STARTING TRENCHING WORK...
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS & PAYING ALL FEES REQUIRED TO PERFORM WORK SHOWN ON THESE DRAWINGS...
3. THE DRAWINGS ARE DIAGRAMMATIC. THE LOCATION OF THE PIPING IS PROXIMATE. COORDINATE THE LOCATION OF PIPING WITH OTHER TRADES...
4. UNDERGROUND PIPING SHALL CLEAR ALL FOOTINGS IN AN APPROVED MANNER. SEE STRUCTURAL DRAWINGS FOR REQUIRED CLEARANCE AND FOOTING PENETRATION LOCATIONS...
5. UNDERGROUND PIPING SHALL CLEAR ALL FOOTINGS IN AN APPROVED MANNER. SEE STRUCTURAL DRAWINGS FOR REQUIRED CLEARANCE AND FOOTING PENETRATION LOCATIONS...
6. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE LATEST CURRENT EDITION OF THE 2019 CALIFORNIA PLUMBING CODE (CPC) & REGULATIONS...
7. CONCEAL ALL PIPING IN FINISHED PORTIONS OF THE BUILDING, UNLESS NOTED OTHERWISE...
8. CONSULT ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS, LOCATIONS AND ELEVATION OF FIXTURES...
9. SANITARY VENTS THRU ROOFS SHALL TERMINATE AT LEAST 10' AWAY FROM, OR 3' ABOVE ANY OPERABLE WINDOW AND 10' AWAY FROM COMBUSTION AIR OPENINGS AND FRESH AIR INTAKES...
10. PROVIDE GAS SHUT-OFF VALVES AT ALL GAS FIRED EQUIPMENT...
11. TOILETS SHALL USE 1.28 GALLONS PER FLUSH (GPF) MAXIMUM...
12. COMPLY WITH THE STATE OF CALIFORNIA ENERGY COMMISSION BUILDING ENERGY EFFICIENCY STANDARDS (TITLE 24, SUBCHAPTER 2 & 3) INCLUDING THE FOLLOWING:
12.1. WATER HEATERS SHALL BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION AS COMPLYING WITH THEIR EFFICIENCY STANDARD (SECTION 113 (a) TABLE No.1-D)
12.2. LOW TEMPERATURE PIPE MINIMUM INSULATION, 105°F TO 200°F. (SUBCHAPTER 3 SECTION 123 TABLE No.1-G)
12.3. LAVATORY FAUCETS AND SINK FAUCETS (NOT INCLUDING SERVICE SINK FAUCETS) SHALL MEET THE FLOW REQUIREMENTS OUTLINED IN THE TITLE 24 SECTION 113 (a) & (b)
12.4. LAVATORIES IN PUBLIC RESTROOMS PROVIDED WITH HOT WATER SHALL HAVE HOT WATER CONTROLS COMPLY WITH THE FOLLOWING REQUIREMENTS: MAXIMUM FLOW RATE (GPM) 0.5; OR 0.75 (WITH A DEVICE THAT LIMITS THE PERIOD OF WATER DISCHARGE I.E. FOOT SWITCH OR OCCUPANCY SENSOR).
12.5. CIRCULATING SERVICE WATER HEATING SYSTEMS SHALL HAVE A CONTROL CAPABLE OF AUTOMATICALLY TURNING OFF THE CIRCULATING PUMP WHEN HOT WATER IS NOT REQUIRED.
12.6. ALL PIPE AND EQUIPMENT INSULATING MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DEVELOPMENT REQUIREMENTS OF SECTIONS 2602 & 707 PART 2 SECTION 118 (C). ADA NOTES:
2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA RESIDENTIAL BUILDING CODE (CRC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA FIRE CODE (FCF)
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
13. ALL PLUMBING FIXTURES INDICATED WITH AN "A" SUBLETTER AFTER THE FIXTURE NUMBER SHALL BE INSTALLED FOR ADA REQUIREMENTS USE AS FOLLOWS:
13.1. WATER CLOSET: INSTALL WITH TOP OF SEAT 17" TO 19" ABOVE FINISHED FLOOR. FLUSHMETER VALVE, BATTERY SENSOR OPERATED WITH OVERRIDE PUSH BUTTON & MAXIMUM OPERATING AT 1.28 GPF. FOR FACILITY RESTROOM THE FLUSH VALVE SHALL BE OPERATED BY AN OSCILLATING HANDLE W/ 1.28 GPF & THIS HANDLE SHALL FACE THE SIDE WALL FURTHEST FROM THE CENTER LINE OF THE FIXTURE.
13.2. LAVATORIES: INSTALL WITH BOTTOM OF APRON 29" ABOVE FINISHED FLOOR. PROVIDE HOT & COLD WATER W/ STOPS FOR FACILITY USE & INSULATE HOT WATER STOP, DRAIN TAILPIECE & TRAP. FOR STUDENTS RESTROOM PROVIDE COLD WATER ONLY METERED FAUCET COMPLETE ASSEMBLY. STOP, DRAIN TAILPIECE AND TRAP.
13.3. SHOWERS: INSTALL WATER CONTROLS 40" ABOVE THE SHOWER FLOOR. FOR FACILITY SHOWERS PROVIDE A FLEXIBLE HAND HELD SHOWER UNIT WITH A MIN. 60" LONG HOSE WITH HEAD MOUNTED 48" ABOVE THE SHOWER FLOOR.
13.4. URINAL: INSTALL WITH RIM 17" ABOVE FINISHED FLOOR. FLUSHMETER VALVE FOR FACILITY USE & BATTERY SENSOR OPERATED FLUSH VALVE FOR STUDENTS USE & SHALL BE LOCATED NOT MORE THAN 44" ABOVE THE FINISHED FLOOR. 0.125GPF.
13.5. ELECTRICAL WATER COOLER OR DRINKING FOUNTAIN: INSTALL WITH THE CENTERLINE OF THE BUBBLER HEAD LOCATED 36" ABOVE THE FINISHED FLOOR.
14. THE SEISMIC BRACING AND ANCHORAGE OF PIPING SHALL BE IN ACCORDANCE WITH GUIDELINES FOR SEISMIC RESTRAINTS OF MANUAL GUIDELINES FOR MECHANICAL SYSTEMS PUBLISHED BY SMACNA.
15. STORM DRAIN PIPE SIZING IS BASED ON 4" RAINFALL. USE RECTANGULAR PIPE UNDER SIDEWALK AND THRU CURB IF PIPING IS LARGER THAN 3".
16. CONTRACTOR SHALL VISIT JOB SITE AND VERIFY ALL APPLICABLE CONDITIONS PRIOR TO BID.
17. EQUIPMENT & APPLIANCES MARKED N.I.C. AS WELL AS EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS, SHALL BE INSTALLED SET IN PLACE AND CONNECTED IN SATISFACTORY OPERATING CONDITION BY THE CONTRACTOR.
18. PROVIDE CD AS REQUIRED TO MECHANICAL EQUIPMENT IN COMPLIANCE WITH CPC, SPECIFICATION & DWGS.
19. WATER HEATERS SHALL COMPLY WITH SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCQMD) RULE 1146.2.
20. WHERE IT HAS BEEN RECOMMENDED BY THE SOIL SURVEY REPORT TO PROVIDE PIPE PROTECTION FROM UNDERGROUND CORROSIVE SOIL(S), PIPES SHALL BE PROTECTED/ ENCASED PER THE INSTALLATION/ENCASEMENT PORTIONS OF ASTM-74, ASTM D 2321 & AWWA C105 AS APPLIES.
21. PROVIDE CONDENSATE AND OVERFLOW DRAIN PIPING TO ALL FAN COIL UNITS AND MECHANICAL EQUIPMENT W/ TRAP, UNIONS & FLEXIBLE CONNECTIONS AND SPILL TO APPROVED RECEPTACLE OR CONNECT TO TAILPIECE. INSULATE ALL CONDENSATE AND OVERFLOW DRAIN PIPING INSIDE BUILDING. SLOPE ALL PIPING @ 1/8" PER FOOT.
22. PROVIDE PIPE INSULATION AS INDICATED ON SPECIFICATION AND INSULATE ALL PLUMBING EXPOSED PIPING WITHIN THE BUILDING IN AMBIENT TEMPERATURES & AIR CONDITIONING AREAS.

MEP COMPONENT ANCHORAGE NOTE

- ALL MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS SHALL BE ANCHORED AND INSTALLED PER THE DETAILS ON THE DSA APPROVED CONSTRUCTION DOCUMENTS. WHERE NO DETAIL IS INDICATED, THE FOLLOWING SHALL BE ANCHORED OR BRACED TO MEET THE FORCE AND DISPLACEMENT REQUIREMENTS PRESCRIBED IN THE
*) 2019 CBC, SECTIONS 1617A.1.18 THROUGH 1617A.1.26
*) ASCE 7-16 CHAPTER 13, 26 AND 30.
1. ALL PERMANENT EQUIPMENT AND COMPONENTS.
2. TEMPORARY OR MOVABLE EQUIPMENT THAT IS PERMANENTLY ATTACHED (E.G. HARD WIRED) TO THE BUILDING UTILITY SERVICES SUCH AS ELECTRICITY, GAS OR WATER.
3. MOVABLE EQUIPMENT WHICH IS STATIONED IN ONE PLACE FOR MORE THAN 8 HOURS AND HEAVIER THAN 400 POUNDS ARE REQUIRED TO BE ANCHORED WITH TEMPORARY ATTACHMENTS.
THE FOLLOWING MECHANICAL AND ELECTRICAL COMPONENTS SHALL BE POSITIVELY ATTACHED TO THE STRUCTURE, BUT THE ATTACHMENT NEED NOT BE DETAILED ON THE PLANS. THESE COMPONENTS SHALL HAVE FLEXIBLE CONNECTIONS PROVIDED BETWEEN THE COMPONENT AND ASSOCIATED DUCTWORK, PIPING, AND CONDUIT.
A. COMPONENTS WEIGHING LESS THAN 400 POUNDS AND HAVE A CENTER OF MASS LOCATED 4 FEET OR LESS ABOVE THE ADJACENT FLOOR OR ROOF LEVEL THAT DIRECTLY SUPPORT THE COMPONENT.
B. COMPONENTS WEIGHING LESS THAN 20 POUNDS, OR IN THE CASE OF DISTRIBUTED SYSTEMS, LESS THAN 5 POUNDS PER FOOT, WHICH ARE SUSPENDED FROM A ROOF OR FLOOR OR HUNG FROM A WALL.
FOR THOSE ELEMENTS THAT DO NOT REQUIRE DETAILS ON THE APPROVED DRAWINGS, THE INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD AND THE DSA DISTRICT STRUCTURAL ENGINEER. THE PROJECT INSPECTOR WILL VERIFY THAT ALL COMPONENTS AND EQUIPMENT HAVE BEEN ANCHORED IN ACCORDANCE WITH ABOVE REQUIREMENTS

- FOR THOSE ELEMENTS THAT DO NOT REQUIRE DETAILS ON THE APPROVED DRAWINGS, THE INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD AND THE DSA DISTRICT STRUCTURAL ENGINEER. THE PROJECT INSPECTOR WILL VERIFY THAT ALL COMPONENTS AND EQUIPMENT HAVE BEEN ANCHORED IN ACCORDANCE WITH ABOVE REQUIREMENTS

PIPING SYSTEM BRACING NOTE

- A. PIPING, DUCTWORK, AND ELECTRICAL DISTRIBUTION SYSTEMS SHALL BE BRACED TO COMPLY WITH THE FORCES AND DISPLACEMENTS PRESCRIBED IN
*)ASCE 7-16 SECTION 13.3 AS DEFINED
*)ASCE 7-16 SECTION 13.6.8, 13.6.7, 13.6.5.6, AND
*)2019 CBC, SECTIONS 1617A.1.23, 1617A.1.24, 1617A.1.25 AND 1617A.1.26.
B. THE BRACING AND ATTACHMENTS TO THE STRUCTURE SHALL BE DETAILED ON THE APPROVED DRAWINGS OR BRACING AND ATTACHMENTS AREA BASED ON A PRE-APPROVED INSTALLATION GUIDE (E.G. SMACNA OR OSHPD OPM),
C. COPIES OF THE MANUAL SHALL BE AVAILABLE ON THE JOBSITE PRIOR TO THE START OF HANGING AND BRACING OF THE PIPE, DUCTWORK, AND ELECTRICAL DISTRIBUTION SYSTEMS.

MISC. EQUIPMENT SCHEDULE table with columns: MARK, EQUIPMENT, LOCATION/SERVICE, DESCRIPTION. Includes entries for Water Heater and Expansion Tank.

FIXTURE CONNECTION SCHEDULE (BRANCH SIZES) table with columns: MARK, FIXTURE, WASTE, TRAP, VENT, C.W., H.W., ICW, IHW, G, REMARKS. Includes entries for Water Closet, Lavatory, Floor Drain, Kitchen Sink, Shower, Cloth Washer, Trap Primer, and Therom Mixing Valve.

Hand-drawn fixture schedule table with columns: FIXTURES, QUANTITY, X, FIXTURE UNIT VALUE, TOTALS, ASSIGN TO WH. Includes entries for Toilets, Lav or Hand Sink, Bidets, Showers, Kitchen Sink, Dishwasher, Laundry Sink, Drinking Fountain, Bar Sink, Mop Sink, 2 or 3-compartment Sink, Shampoo Bowl, Prep Sink, Commercial Dishwasher, Hose Bibbs, Lawn Sprinklers, Coffee, Tea, Ice etc.

TABLE 610-A FIXTURE UNIT TABLE FOR DETERMINING WATER PIPE AND METER SIZES. Maximum allowable lengths (ft) for pressure ranges of 30 to 60 psi and 65 to 90 psi for various pipe sizes.

PIPE MATERIALS table with columns: SERVICES, LOCATION, MATERIAL, JOINING METHOD, REMARKS. Includes entries for Domestic Cold & Hot Water, Sanitary Waste Sewer, Sanitary Waste Vent, and Low Pressure Gas.

PLUMBING ABBREVIATIONS

PLUMBING ABBREVIATIONS table with columns: ABBREVIATION, DESCRIPTION. Includes entries like ADA, AD, AP, FD, FS, FU, FV, GPM, GPR, HZ, MIN., MAX., MPG, NTS, NIC, POC, PRV, BPV, SOV, YTP, VTR, WH, EWH, W/, SQ.FT., IW, GW, SW, T.D.L., PSI, BTU, FCO, COTG, V, CW, HW, WHA, WCO, HB, TM, DISP., MFGR, (E), (EC), ET, G, WM, GM, etc.

PLUMBING LEGEND

PLUMBING LEGEND table with columns: SYMBOL, DESCRIPTION. Includes entries for Waste/Sewer Below Grade, Waste/Sewer Above Grade, Floor Cleanout, Cleanout to Grade, Sanitary Vent, Cold Water Pipe, Hot Water Pipe, Hot Water Recirculation Line, Fuel Gas (Low Pressure), Filtered Cold Water, Water Hammer Arrestor, Wall Cleanout, Check Valve, Gate Valve, Gas Cock, Grease Waste, Sanitary Waste, Pressure Reducing Valve, Industrial Cold Water, Hose Bibb, Pipe Rise, Pipe Drop, and Thermostatic Mixing Valve.

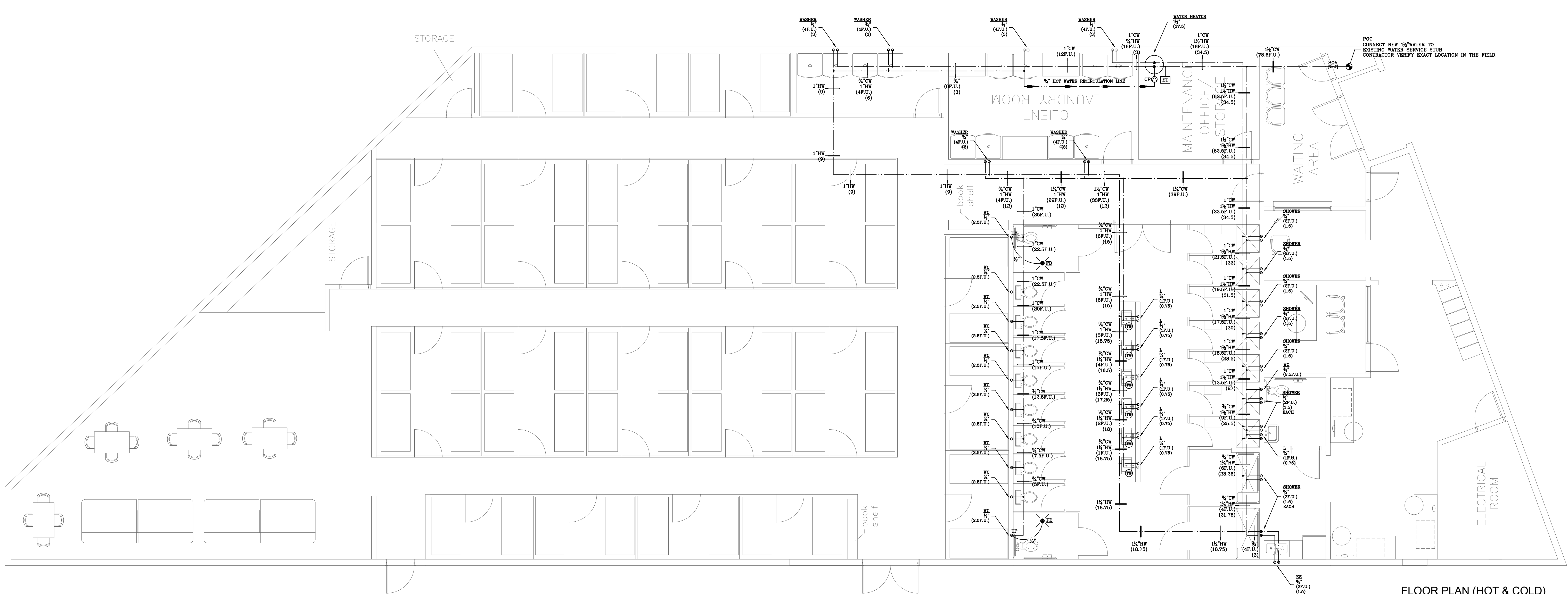
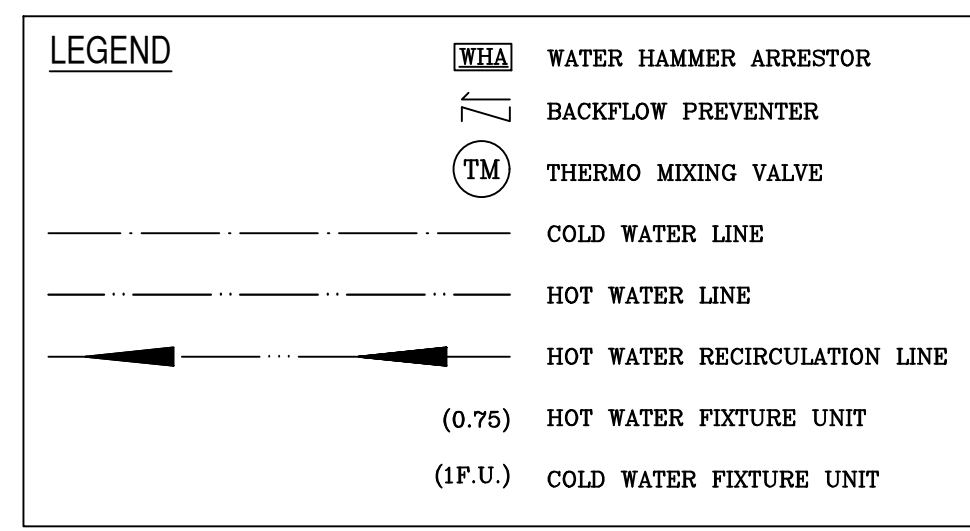
REVISIONS

REVISIONS table with columns for revision number and description.

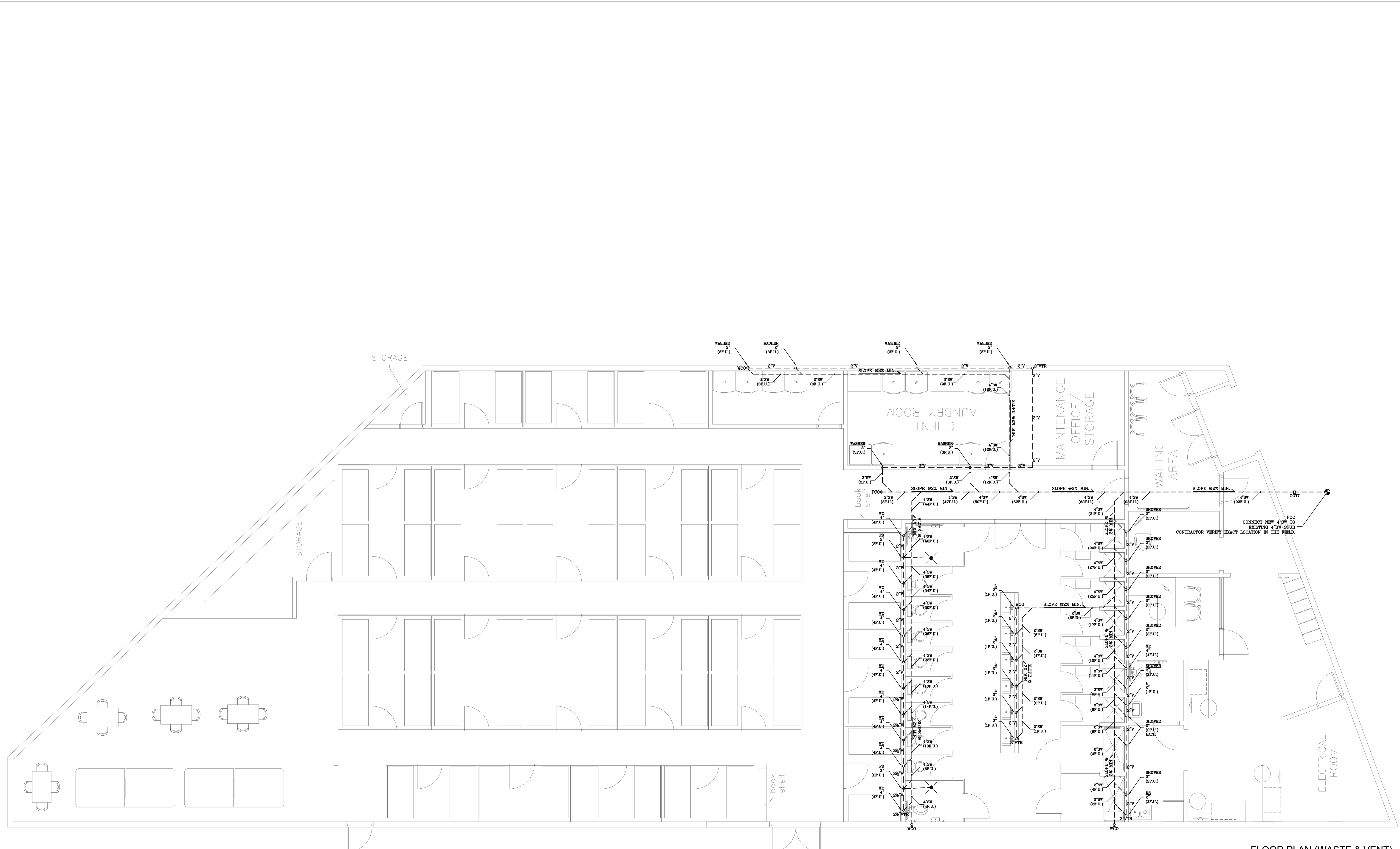
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Project: CONVERT WAREHOUSE TO EMERGENCY HOMELESS SHELTER Address: 2521 LONG BEACH AVE. LOS ANGELES, CA. 90058

STAMP area containing a professional engineer seal for Jyh-Yang Zhang, N.O.M.-34617, Exp. 12-31-21, and project details: Date: 06/24/2021, JOB#: 210689.



FLOOR PLAN (HOT & COLD)
 SCALE: 3/16"=1'-0"



FLOOR PLAN (WASTE & VENT)
SCALE: 3/16"=1'-0"

REVISIONS

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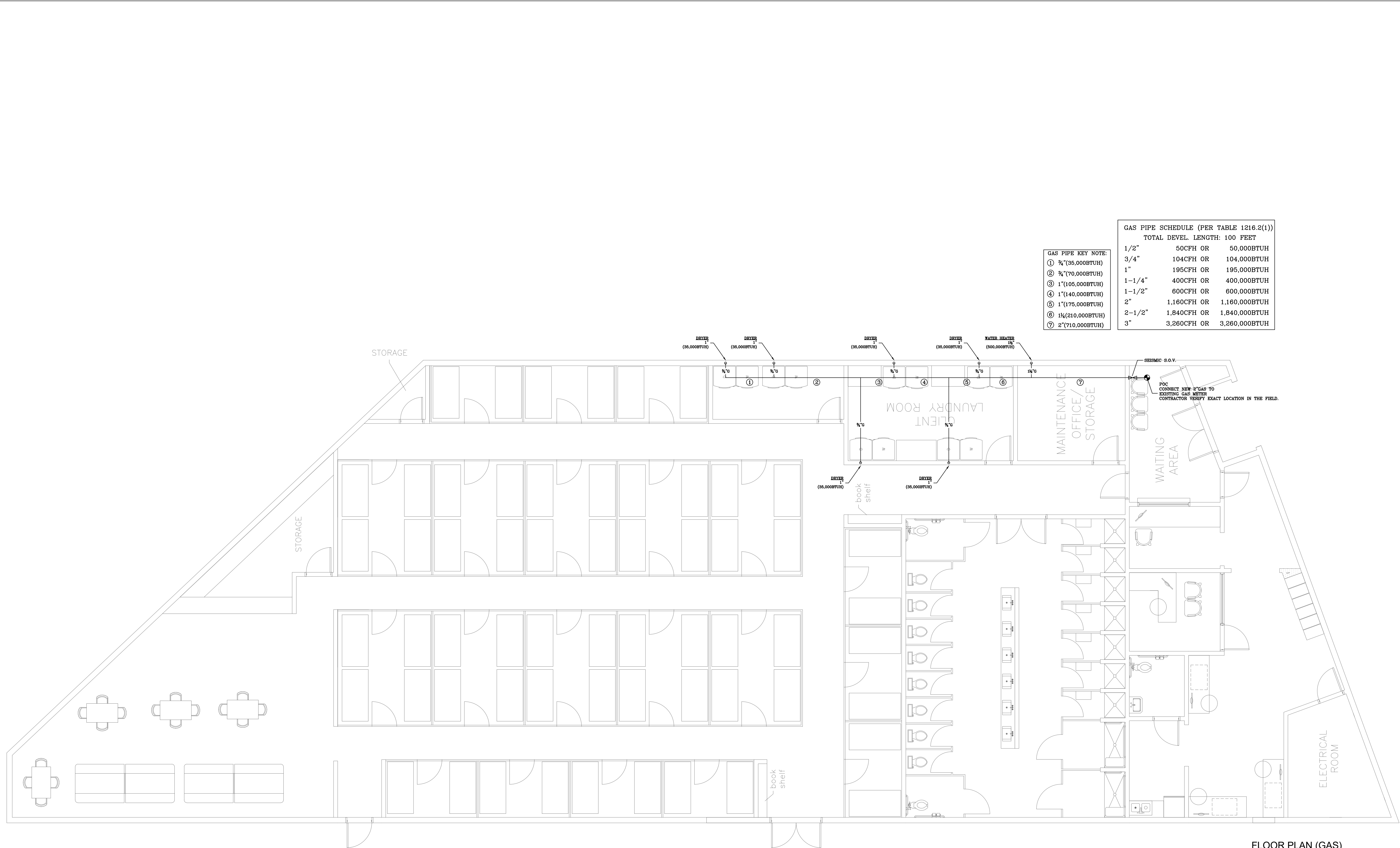
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Date: 06/24/2021
JOB# 210689

P3



GAS PIPE KEY NOTE:

- ① 3/4" (35,000BTUH)
- ② 3/4" (70,000BTUH)
- ③ 1" (105,000BTUH)
- ④ 1" (140,000BTUH)
- ⑤ 1" (175,000BTUH)
- ⑥ 1 1/4" (210,000BTUH)
- ⑦ 2" (710,000BTUH)

GAS PIPE SCHEDULE (PER TABLE 1216.2(1))
TOTAL LEVEL LENGTH: 100 FEET

1/2"	50CFH OR	50,000BTUH
3/4"	104CFH OR	104,000BTUH
1"	195CFH OR	195,000BTUH
1-1/4"	400CFH OR	400,000BTUH
1-1/2"	600CFH OR	600,000BTUH
2"	1,160CFH OR	1,160,000BTUH
2-1/2"	1,840CFH OR	1,840,000BTUH
3"	3,260CFH OR	3,260,000BTUH

FLOOR PLAN (GAS)
SCALE: 3/16"=1'-0"

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P4



FLOOR PLAN
SCALE: 3/16"=1'-0"

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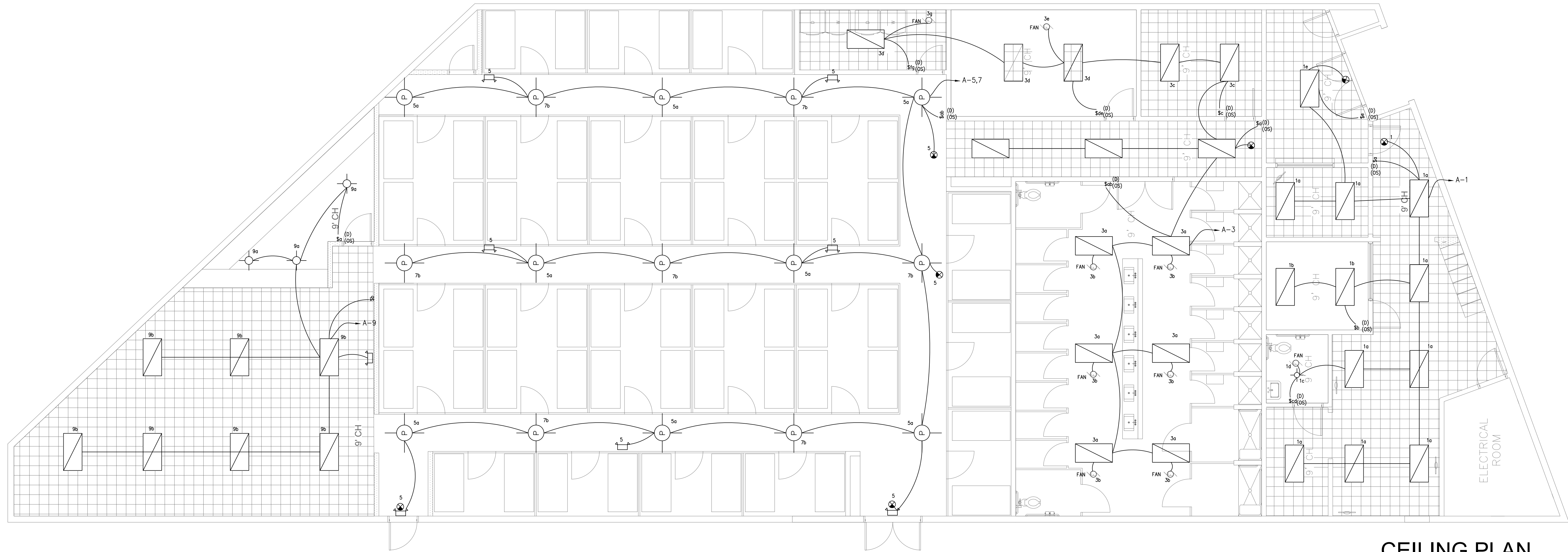
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E2



CEILING PLAN
SCALE: 3/16"=1'-0"

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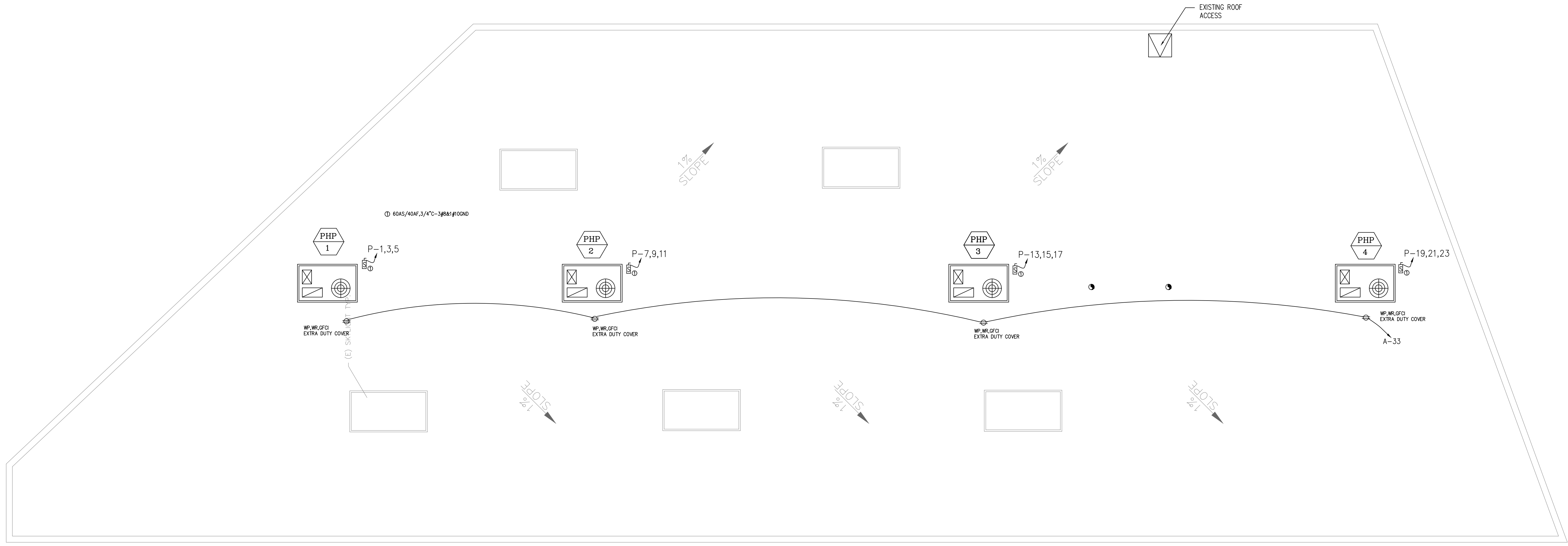
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E3

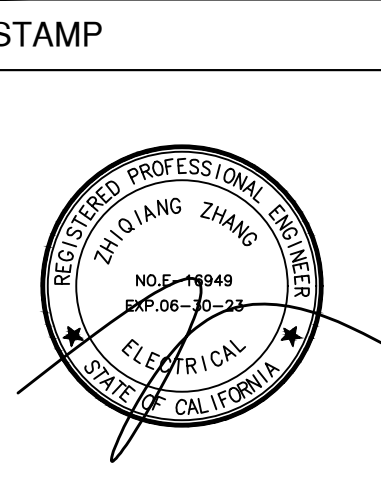


ROOF PLAN
SCALE: 3/16"=1'-0"

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JOB# 210689

E4

STATE OF CALIFORNIA Indoor Lighting NRCC-LTI-E (Created 01/20) CALIFORNIA ENERGY COMMISSION... Project Name: TENANT IMPROVEMENT- EMERGENCY HOMELESS SHELTER... Project Address: 2521 LONG BEACH AVE. LOS ANGELES, CA. 90058

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LIGHTING FIXTURE SCHEDULE table with columns: TYPE, SYMBOL, MARK, LAMP (TYPE, NO., WATT), FIXTURE VA, VOLT, MOUNTING, MANUFACTURE & MODEL. Rows A-F describe various LED fixtures like 2X4 LED LT, RECESS LT LED, PENDANT LT, EXIT SIGN, and EMERGENCY LIGHT.

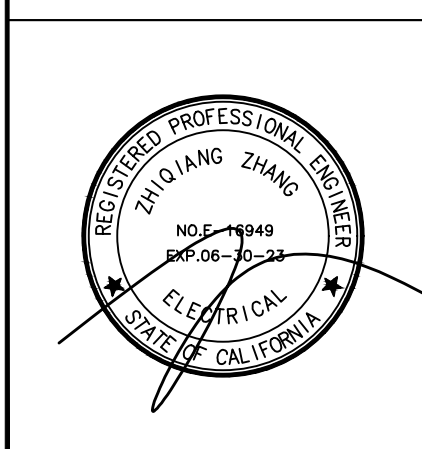
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